



HILLINGDON
LONDON



North Planning Committee

Date: THURSDAY, 14 JULY 2016

Time: 7.30 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE
UB8 1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Councillor Edward Lavery (Chairman)
Councillor John Morgan (Vice-Chairman)
Councillor Manjit Khatra (Labour Lead)
Councillor Jem Duducu
Councillor Duncan Flynn
Councillor Raymond Graham
Councillor Henry Higgins
Councillor John Morse
Councillor John Oswell

Published: Tuesday, 5 July 2016

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This Agenda is available online at:

<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=116&Year=0>

Putting our residents first

Lloyd White
Head of Democratic Services
London Borough of Hillingdon,
3E/05, Civic Centre, High Street, Uxbridge, UB8 1UW
www.hillingdon.gov.uk

Useful information for residents and visitors

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It is recommended to give advance notice of filming to ensure any particular requirements can be met. The Council will provide seating areas for residents/public, high speed WiFi access to all attending and an area for the media to report. The officer shown on the front of this agenda should be contacted for further information and will be available to assist.

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A useful guide for those attending Planning Committee meetings

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more people who live, work or study in the borough, can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;

petition organiser or of the agent/applicant;

5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

4. The Committee may ask questions of the

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 Matters that have been notified in advance or urgent
- 4 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

PART I - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications with a Petition

	Address	Ward	Description & Recommendation	Page
5	52 Bushey Road, Ickenham 71297/APP/2016/529	Ickenham	One two storey 4-bedroom detached dwelling and one single storey 3-bedroom detached bungalow with associated off-street parking spaces, bin/cycle storage and amenity space and installation of vehicular crossover to front (involving demolition of garage to side/rear) (Revised and Resubmission) Recommendation: Approval	1 - 26 87 - 99

Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	Harefield Hospital, Hill End Road, Harefield 9011/APP/2016/1862	Harefield	Infill extension on the second floor balcony in order to create a 16 bed ward and 4 bed High Dependency Unit including installation of roof mounted plant (works involve demolition of part of the existing concrete canopy) Recommendation: Approval + Sec 106	27 - 48 100 -110
7	Douay Martyrs School, Cardinal Hume Campus, 86 Long Lane, Ickenham 6683/APP/2016/1226	Ickenham	Replacement of existing school boundary fence with new 1.8m high metal fencing and gates and creation of new tarmacadam pathway to the main reception. Recommendation: Approval	49 - 60 111 - 114

Monitoring Report

- 8 S106 Quarterly monitoring report 61 - 86
- This report provides financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2016 where the council has received and holds funds.

PART I - Plans for North Planning Committee

87 -114

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Report of the Head of Planning, Sport and Green Spaces

Address 52 BUSHEY ROAD ICKENHAM

Development: One two storey 4-bedroom detached dwelling and one single storey 3-bedroom detached bungalow with associated off-street parking spaces, bin/cycle storage and amenity space and installation of vehicular crossover to front (involving demolition of garage to side/rear) (Revised and Resubmission)

LBH Ref Nos: 71297/APP/2016/529

Drawing Nos: 151224/01
151224/02
151224/07
151224/08
Design and Access Statemen
151224/03 Rev B
151224/04 Rev A
151224/05 Rev A
151224/06 Rev A
151224/07 Rev A
151224/08 Rev A (Streetscene)

Date Plans Received: 10/02/2016 **Date(s) of Amendment(s):** 10/02/2016
Date Application Valid: 10/02/2016

1. SUMMARY

This application proposal seeks planning permission for the demolition of the existing single storey detached bungalow on the site and erection of a two storey 4-bedroom detached dwelling and a single storey 3-bedroom detached bungalow with associated off-street parking spaces, waste bin/cycle storage and amenity space, and installation of vehicular crossover to front (involving demolition of garage to side/rear).

The application has been referred to the Planning Committee because of the receipt of a petition and representations from local residents.

Notwithstanding the location of the application site in a prominent corner plot junction, it is considered that the proposed development by reason of its acceptable design, scale, form, proportions and footprint, would not constitute over-development of the site, and it would not constitute an over-dominant, obtrusive and/or overbearing impact on the character, appearance and visual amenities of the Bushey Road and Chiltern Close streetscenes.

The proposed new dwellings on the site would not cause any detrimental impact on the residential amenities currently enjoyed at adjacent properties in the immediate locality, in respect of natural light, outlook, overshadowing and visual intrusion. There are no privacy issues arising and adequate separation distances are proposed to avoid direct overlooking of adjacent properties to the sides and rear.

Satisfactory living environments would be provided for potential future occupants of the proposed dwellings in the form of internal floorspaces that exceed minimum required space standards, as well as adequate usable rear garden amenity spaces.

The proposed off-street parking provision with new associated vehicle crossover in a central position, is acceptable and would not be likely to result in a demand for additional on-street parking for occupants of the proposed dwellings. The new crossover and off-street parking would not have any adverse implications for general highway and pedestrian safety in the locality given the provision of appropriate visibility splays, and adequate soft-landscaping would be provided in the front gardens to ensure the preservation of the appearance of the streetscenes.

For these reasons, the application is recommended for approval.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 151224/07 and 151224/08 (Received on 10/02/2016) and 151224/03 Rev B, 151224/04 Rev A, 151224/05 Rev A, 151224/06 Rev A, 151224/07 Rev A and 151224/08 Rev A (Revised and received on 21/04/2016), and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and The London Plan (2015).

3 COM7 Materials (Submission)

No development shall take place until details of all materials and external surfaces, have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

4 NONSC Non Standard Condition

Prior to commencement, a scheme for the provision of sustainable water management shall be submitted to, and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate how it:

Manages Water: The scheme shall demonstrate ways of controlling the surface water on

site by providing information on:

a) Suds features:

- i. incorporating sustainable urban drainage in accordance with the hierarchy set out in Policy 5.15 of the London Plan (2015). Where the proposal does not utilise the most sustainable solution, justification must be provided,
- ii. calculations showing storm period and intensity and volume of storage required to control surface water and size of features to control that volume to Greenfield run off rates at a variety of return periods including 1 in 1 year, 1 in 30, 1 in 100, and 1 in 100 plus Climate change,
- iii. overland flooding should be mapped, both designed and exceedance routes above the 100, plus climate change, including flow paths depths and velocities identified as well as any hazards (safe access and egress must be demonstrated).

b) Receptors:

- i. Capacity demonstrated for Thames Water foul and surface water network, and provide confirmation of any upgrade work required having been implemented and receiving watercourse as appropriate.
- ii. Where infiltration techniques (soakaway) are proposed a site investigation must be provided to establish the level of groundwater on the site, and to demonstrate the suitability of infiltration techniques proposed on the site (This should be undertaken at the appropriate time of year as groundwater levels fluctuate).
- iii. identify vulnerable receptors, i.e WFD status and prevent pollution of the receiving groundwater and/or surface waters through appropriate methods;

c) Minimise water use. The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- i. incorporate water saving measures and equipment.
- ii. provide details of water collection facilities to capture excess rainwater;
- iii. provide details of how rain and grey water will be recycled and reused in the development.

d) Long Term Management and Maintenance of the drainage system:

- i. Provide a management and maintenance plan for the lifetime of the development of arrangements to secure the operation of the scheme throughout its lifetime. Including appropriate details of Inspection regimes, appropriate performance specification, remediation and timescales for the resolving of issues. Where there is overland flooding proposed, the plan should include the appropriate actions to ensure the safety of the users of the site should that be required.
- ii. Where the maintenance will not be the responsibility of an individual householder, the details of the body legally responsible for the implementation of the management and maintenance plan must be provided.

e) During Construction:

- i. How temporary measures will be implemented to ensure no increase in flood risk from commencement of construction.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure that surface water run-off is controlled to ensure the development does not increase the risk of flooding in accordance with Policy EM6 (Flood Risk Management) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policy 5.12 (Flood Risk Management) of The London Plan (2015), the National Planning Policy Framework (March 2012) and the Planning Practice Guidance (March 2014). To be handled as close to its source as possible in compliance with Policy 5.13 (Sustainable Drainage) of The London Plan (2015) and conserve water supplies in accordance with Policy 5.15 (Water use and supplies) of The London Plan (2015).

5 RES9 Landscaping (car parking & refuse/cycle storage)

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
 - 1.a Planting plans (at not less than a scale of 1:100),
 - 1.b Written specification of planting and cultivation works to be undertaken,
 - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
2. Details of Hard Landscaping
 - 2.a Means of enclosure/boundary treatments
 - 2.b Hard Surfacing Materials
3. Schedule for Implementation
4. Other
 - 4.a Existing and proposed functional services above and below ground
 - 4.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with Policies BE13 and BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

6 RES14 Outbuildings, extensions and roof alterations

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with Policies BE13, BE21, BE22, BE23 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7 HO5 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted

Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

8 HO6 Obscure Glazing

The windows in the first floor side elevation of the two storey detached dwelling facing No. 54 Bushey Road and the single storey detached dwelling hereby approved, as well as the dormer windows in the northern side roofslope of the single storey detached dwelling hereby approved, shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

9 COM6 Levels

The bungalow property hereby approved shall not exceed a maximum height of 5.8 metres

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

10 HO6 Obscure Glazing

The first floor window in the east facing, rear elevation of the bungalow hereby approved shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including

the London Plan (2015) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H3	Loss and replacement of residential accommodation
H4	Mix of housing units
H5	Dwellings suitable for large families
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
LPP 3.3	(2015) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2015) Quality and design of housing developments
LPP 3.8	(2015) Housing Choice
LPP 5.3	(2015) Sustainable design and construction
LPP 5.12	(2015) Flood risk management
LPP 5.13	(2015) Sustainable drainage
LPP 5.15	(2015) Water use and supplies
LPP 5.16	(2015) Waste self-sufficiency
LPP 7.2	(2015) An inclusive environment
LPP 7.4	(2015) Local character
NPPF	National Planning Policy Framework

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control

decisions.

4 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

6 15 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Residents Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

7 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

8

Advice Note: Front gardens

Where the area of ground covered by the hard surface, or the area of hard surface replaced, would exceed 5 square metres, either the hard surface shall be made of porous materials, or provision shall be made to direct run-off water from the hard surface to a permeable or porous area or surface within the curtilage of the dwelling house.

Guidance on how alter a front garden appropriately can be found on the RHS website: <https://www.rhs.org.uk/science/pdf/climate-and-sustainability/urban-greening/gardening-matters-front-gardens-urban-greening>

You should ensure that water from your front drive does not flow on to the Highway otherwise enforcement action could be undertaken to ensure this is rectified.

3. CONSIDERATIONS

3.1 Site and Locality

The application site constitutes a corner plot on the eastern side of Bushey Road and on the northern corner of the junction of Bushey Road and Chiltern Close, a small residential cul-de-sac.

The site currently comprises a single storey detached bungalow in a central position, a carport to the southern side and garages/outbuilding farther to the southern side and rear. The properties in that immediate section of Bushey Road consist of a mix of detached bungalows, and two storey semi-detached and detached dwellings. The immediate adjacent property to the north of the application site is the two storey semi-detached dwelling at No. 54 Bushey Road, whilst the immediate adjacent property to the south (on the southern corner of the junction) is the single storey detached bungalow at No. 36 Bushey Road. The properties to the rear of the site on Chiltern Close, consist of both detached bungalows and semi-detached houses. Directly opposite the application site on the western side is the grounds of the Breakspear School.

The site is situated within the 'Developed Area' as identified in the adopted Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

3.2 Proposed Scheme

Revised plans have been submitted with this application, which seeks permission for the demolition of the existing bungalow on the site and erection of a two storey 4-bedroom detached dwelling and a single storey 3-bedroom detached bungalow with associated off-street parking spaces, waste bin/cycle storage and amenity space, and installation of

vehicular crossover to front (involving demolition of garage to side/rear).

The proposed dwellings would front onto Bushey Road and they would have front elevations that maintain the established front building line on that section of the eastern side of the highway. The proposed two storey detached dwelling would be 7.5m high with a main pyramidal hipped roof, a front projection with lower pitch roof and front porch with pitch roof canopy. The detached dwelling would be 8m wide and 11m deep. The dwelling would maintain a gap to the northern boundary with the adjacent dwelling at No.54 by 1m to the front and 1.4m to the rear. The proposed single storey detached bungalow would be 8m wide, 11m deep and 5.8m high. The bungalow would have a gable pitch roof and feature three dormers with barn-hipped roofs and obscure-glazed windows in the northern side roofslope facing the proposed two-storey detached dwelling. The dormers would each be 2.7m wide, 1.85m high and 2.7m deep. The bungalow would maintain a gap of 1.45m to the southern boundary with the adjoining Chiltern Close highway.

Two off-street parking spaces would be provided for each dwelling in the front gardens, and new 0.6m high brick walls and a new 4.8m wide centrally positioned vehicular crossover would be provided at the back of the adjoining footpath. An existing crossover on the front boundary would be reinstated as part of the adjoining footpath. Storage for cycle spaces (two per dwelling) and waste bins (two per dwelling) would be provided inside the sub-divided existing outbuilding at the rearmost part of the rear garden. Two doors in the existing 2m close-boarded fence along the rear boundary would allow access to and from Chiltern Close to the rear. Two rear gardens of approximately 11m depth are proposed and they would comprise usable amenity areas of approximately 108.4 sq.m for the proposed two storey dwelling and approximately 76 sq.m for the proposed bungalow.

This application follows on from the refusal of permission for a previous application (reference 71297/APP/2015/3835), which was refused permission on 21/12/2015 for two, two storey, 4-bedroom semi-detached dwellings with associated parking and amenity space and installation of vehicular crossover to front (involving demolition of the existing bungalow).

3.3 Relevant Planning History

71297/APP/2015/3835 52 Bushey Road Ickenham

2 x two storey, 4-bed, semi detached dwellings with associated parking and amenity space and installation of vehicular crossover to front involving demolition of existing bungalow

Decision: 21-12-2015 Refused

71297/PRC/2016/7 52 Bushey Road Ickenham

Demolition of existing detached dwelling and erection of 2 new detached dwellings

Decision: 12-04-2016 OBJ

Comment on Relevant Planning History

71297/APP/2015/3835 - Two, two storey, 4-bedroom semi-detached dwellings with associated parking and amenity space and installation of vehicular crossover to front (involving demolition of the existing bungalow)

Decision: Refused on 21/12/2015.

Reasons for refusal:

i) The proposal by reason of its siting in this open prominent position would result in the loss of an important gap characteristic to the area, resulting in a cramped appearance. The proposal would therefore represent an overdevelopment of the site to the detriment of the character and the visual amenities of the area and to this existing open area of the street scene. Therefore the proposal is contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policies 3.5 and 7.4 of the London Plan (2011) and the adopted Supplementary Planning Document HDAS: Residential Layouts.

ii) The proposal would result in the provision of a crossover of excessive width which allied to its position and the fact that the parking layout would result in vehicles reversing onto the street very close to the junction with Chiltern Close would result in conditions that are detrimental to highway and pedestrian safety contrary to Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Saved Unitary Development Plan Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Layouts.

Following on from the refusal of permission for the above application, the applicant sought formal pre-application advice for a scheme similar to this application proposal (reference 71297/PRC/2016/7) on 12/01/2016. The applicant was advised that the proposal, based on the submitted plans and supporting documents could not be supported at application stage, as it would result in an unacceptable impact upon the character and appearance of the street scene. The applicant was advised to change the crown roof design of the proposed two storey dwelling and the flat roof design of the dormers in the proposed bungalow. The applicant was also advised to reduce the bulk of the dormers and set in the bungalow further away from the southern side boundary with the Chiltern Close highway. The proposed parking layout and vehicular crossover would have to be amended to incorporate one shared crossover, at least one parking bay to be parallel with Bushy Road, re-instating of the existing vehicular crossover as part of the adjoining footpath, provision of pedestrian visibility splays with no obstruction over 0.6m high at the back of the footpath and to each side of the proposed vehicular access.

The plans submitted with this application proposal broadly reflect the pre-application advice given.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.EM6 (2012) Flood Risk Management

Part 2 Policies:

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H3	Loss and replacement of residential accommodation
H4	Mix of housing units
H5	Dwellings suitable for large families
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
LPP 3.3	(2015) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2015) Quality and design of housing developments
LPP 3.8	(2015) Housing Choice
LPP 5.3	(2015) Sustainable design and construction
LPP 5.12	(2015) Flood risk management
LPP 5.13	(2015) Sustainable drainage
LPP 5.15	(2015) Water use and supplies
LPP 5.16	(2015) Waste self-sufficiency
LPP 7.2	(2015) An inclusive environment
LPP 7.4	(2015) Local character
NPPF	National Planning Policy Framework

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

13 neighbouring properties and the Ickenham Residents Area were consulted about the application by letter dated 12/02/2016 and a site notice was also displayed in the area on 22/02/2016.

A petition containing 37 signatures and objecting to the application has been received from local residents. 1 letter of support and 7 letters of objection have also been received from local residents. 1 letter of objection has also been received from the Ickenham Residents Association. The grounds of the objections are summarised below:

- Over-development
- Loss of existing bungalow and out of keeping with character of area.
- Over-dominance as a result of excessive height
- New vehicular crossover and parking spaces will remove available on-street spaces and result in additional traffic and parking problems in area
- Close proximity of new crossover to junction and to the adjacent School will constitute traffic hazard
- Visual impact on streetscene as a result of loss of street greenery
- Use of rear access for parking onto Chiltern Close
- Loss of sunlight/daylight and outlook
- Overlooking and loss of privacy

CASE OFFICER'S COMMENTS:

With regards to the objection about use of a rear access for parking on Chiltern Close to the rear, it should be noted that a rear vehicular access is not proposed. Access in the form of doors in the existing 2m high rear boundary fence would only be used as access to the cycle and waste bin storage at the rearmost parts of the rear gardens.

The grounds of the letter of support received are:

- Proposed vehicular crossover and parking will improve parking on that corner of Chiltern Close
- Proposal will visually improve the site, which is currently unsightly with various wooden outbuildings in the garden
- Existing traffic and parking problems are associated with the adjacent School.

Ickenham Residents Association:

This second proposal is still an over-development of the site to the detriment of the character and the visual amenities of the area and has failed to overcome the Council's first reason for refusal on 21.12.15, i.e. it would not retain sufficient gaps or spacing expected, which would result in a cramped form of development.

Local residents have contacted the Association with their concerns about this overdevelopment and point out that the closeness to Breakspear Road School is not even mentioned, which causes parking problems at present and would do so even more with the above proposal. We understand that the original bungalow houses 3 people at the moment, whereas the proposed developments could possibly house up to 11 peoples with relating traffic movements.

There is also concern about the proposed second exit at the rear of the property into Chiltern Close for bins and a cycle shed, which would lead to more traffic and community vehicle movements in this approach road.

We strongly object to this application and are completely in the hands of your Planning Team with their greater expertise and facilities, and trust they will take our points into consideration to arrive at the correct decision.

Internal Consultees

HIGHWAYS OFFICER - Initial Comments:

- The site has very poor public transport accessibility (PTAL=1a). Provision for two car parking spaces per dwelling complies with LBH maximum parking standards.
- The proposed layout of the car parking and vehicular crossovers should be amended to provide a single shared crossover and with at least one parking bay to be parallel with Bushy Road. Existing crossover should be reinstated as footway. Unobstructed pedestrian access to the dwellings should be maintained.
- Pedestrian visibility splays measuring 1.5m x 1.5m with no obstruction over 0.6m high, should be provided at the back of footway and to each side of the vehicular access.
- It is recommended that a low wall (600mm with pedestrian gates) be provided at the back of footpath, to each side of the crossover - so as to prevent vehicles manoeuvring over / across the adjacent footpath.

Subject to the above, there are no highway objections.

CASE OFFICER COMMENTS: The applicant has submitted a revised proposed car parking layout plan that satisfactorily addresses the requirements of the Highways Officers.

DRAINAGE OFFICER:

The minor development scheme sits on a plot that is shown to be "At risk of surface water flooding" on the Environment Agency (EA) Mapping. A suitable condition should be added to this decision, requiring the submission and approval of a scheme for the provision of sustainable water management prior to the commencement of any works.

TREES OFFICER:

The site is occupied by a bungalow on the east side of Bushey Road, at the junction with Chiltern Close, a small residential cul de sac. The bungalow is sited centrally within an exceptionally wide plot, with a driveway, car port and garage along the southern boundary and garden space to the front, rear and north side of the building. While the garden is well-established, there are no specimen trees or features of merit, which would constrain development.

There are no Tree Preservation Orders and no Conservation Area designations affecting trees within the site.

Landscape Considerations:

- No trees or other landscape features of merit will be affected by the proposal.

- The proposal includes the provision of two off-street parking space, to the front of each house.
- Both houses will also benefit from having front gardens (approximately 50% front garden coverage)
- Bin and bike stores have been discretely sited in the rear gardens near the back boundary which has gated access to Chiltern Close.
- If the application is recommended for approval, landscape conditions should be imposed to ensure that the proposals preserve and enhance the character and local distinctiveness of the surrounding natural and built environment.

RECOMMENDATION: No objection, subject to the above observations and imposition of a condition in respect of the submission and approval of a soft/hard landscaping scheme (Condition code RES9)

WASTE DEVELOPMENT OFFICER:

Space is allocated for waste storage which is good practice. Hillingdon is not a wheeled bin borough. Bins or other containment would have to be provided by the developer.

The current waste and recycling collection systems are: -

- Weekly residual (refuse) waste - using sacks / bins purchased by the occupier
- Weekly dry recycling collection - using specially marked sacks provided by the Council.
- Weekly green garden waste collection - three specially marked reusable bags (each approximately 80 litre capacity) provided by the Council free of charge. Occupiers of larger properties can purchase three additional reusable bags.
- Weekly collection of textiles provided - using specially marked purple tinted sacks
- Weekly collection of food waste for residents wishing to participate. Those in the scheme are provided with a 7 litre internal 'caddy' and a 23 litre external storage container.

The waste and recycling should be presented near the curtilage of the property on Bushey Road when it is the allocated collection day.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

In terms of the principle of the proposed development, there is no material objection to the replacement of an already established residential use on the site, and which is within an established residential area.

The National Planning Policy Framework (NPPF) (2012) specifies that there is a presumption in favour of sustainable development, which is described for decision taking as "approving development proposals which accord with the development plan." As a core planning principle the effective use of land is encouraged by reusing land that has been previously developed (Brownfield land).

Policy 3.5 of The London Plan (2015), specifies that 'Housing developments should be of the highest quality internally, externally and in relation to their context and to the wider environment, taking account of strategic policies in this Plan to protect and enhance London's residential environment and attractiveness as a place to live'.

The application site currently comprises of a single storey detached bungalow, with garages/outbuildings to the side and rear, which constitute 'previously developed land'. There is a presumption in favour of residential development on previously developed (Brownfield) land subject to other material planning considerations.

Subject to normal development control criteria and having regard to The London Plan (2015)

and the Council's policies and guidelines, it is considered that the proposal would provide an increase in smaller housing stock within the Borough and is acceptable in principle, as it would provide additional housing within an area of low public transport accessibility.

The proposal therefore accords with Policy H4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) in that respect, and there are, in principle, no objections to the development of the site.

7.02 Density of the proposed development

Policy 3.4 of The London Plan (2015) seeks to ensure that new development 'take into account local context and character, the design principles in Chapter 7 and that public transport capacity development should optimise housing output for different types of location within the relevant density range shown in Table 3.2. Development proposals that compromise this policy should be resisted'.

Paragraph 4.1 of the Council's adopted HDAS SPD: Residential Layouts (July 2006) specifies that in new developments, numerical densities are considered to be more appropriate to larger sites and will not be used in the assessment of schemes of less than 10 units, such as this proposal. However, density is only one indicator for the acceptance of the scheme, and other considerations such as impact to the character of the area, internal floor areas and external amenity space would carry far more weight. The key consideration is therefore whether the development sits comfortably within its environment rather than a consideration of the density of the proposal.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable, as the application site does not comprise any statutorily or locally listed buildings, and is not situated within any Archaeological Priority Zone, Conservation Area or Area of Special Local Character.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application. The site is not situated within the Green Belt.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design.

Policies BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seek to ensure that new development complements and improves the character and amenity of the area. Policy BE5 of the Local Plan (Part Two) requires new developments within Areas of Special Local Character (ASLC) to harmonise with the materials, design features, architectural style and building heights predominant in the area.

Policy BE22 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) specifies a requirement for all new buildings of two or more storeys to be set back a minimum of one metre from the side boundary for its full height.

Paragraph 4.27 of the Residential Layouts SPD specifies that careful consideration should be given to building lines, and that these should relate well to the existing street pattern. Paragraph 5.6 of the HDAS SPD gives specifies that corners and junctions typically provide a more complex set of constraints than simple lengths of streets, and will often require a

more sophisticated approach. Corner sites are often highly visible and give an opportunity to create a strong landmark building up the quality of the urban character for the area as a whole.

The objections to the proposed development from local residents in respect of over-development, over-dominance (as a result of height), out of keeping with the character of the area and visual impact on streetscene greenery are noted.

It is noted that the application site is visually prominent on both the Bushey Road and Chiltern Close streetscenes, given that it is significantly wider and more spacious in area than several adjacent sites in the immediate locality. The central positioning of the existing bungalow dwelling further emphasises the considerable sense of open spaciousness particularly to the southern side boundary with the Chiltern Close highway. A key factor therefore in the assessment of this proposal is the level of reduction, in particular by the proposed bungalow dwelling, on this spaciousness of the site.

The proposed two storey dwelling would be set in from the northern side boundary by 1m at the nearest point and it would only be 0.5m higher than the closest adjacent dwelling to the north at No.54. Given that there would be a gap of 4.2m between the flank walls of the proposed dwelling and the dwelling at No.54, it is considered that this gap would be adequate to offset any visual and/or dominating impact on the streetscene arising from the 0.5m height differential between the proposed two storey dwelling and the dwelling at No.54. The proposed two storey dwelling would be narrower than the adjacent dwelling at No.54, and its pyramidal hipped roof form is such that it would not feature any unacceptable crown section, and it would be characteristic of the general hipped roofscape in the immediate locality. As such, the design of the proposed two storey dwelling is considered acceptable and that it would not result in any detrimental impact on the Bushey Road streetscene.

There would be an acceptable gap of 2m between the proposed two storey dwelling and the proposed bungalow dwelling, with a 1m set-in of the dwellings from their respective southern and northern side boundaries. The siting of the proposed two storey dwelling to the north and proposed bungalow dwelling to the south is considered an acceptable setting, as this positioning would reflect the existing transition of the higher adjacent two storey dwellings to the north (with the closest being No.54) to the lower single storey bungalow dwellings on the application site and the adjacent dwelling to the south (across the intervening Chiltern Close highway) at No.36.

There is an existing single storey side extension on the adjacent dwelling to the south (across the intervening Chiltern Close highway) at No.36. This encloses the space between the original part of the building the access road to the properties to the rear in Chiltern Close. Any development therefore at number 52 that extends towards Chiltern Close would further reduce the remaining space and increase this sense of enclosure.

The previous application (reference 71297/APP/2015/3835) was refused (in part) due to the siting of the proposed dwellings resulting in the loss of an important gap characteristic to the area, resulting in a cramped appearance. The set back from the side elevation of the house proposed under the previous application was 1.45 metres and the proposed bungalow would be set back from the southern side boundary by the same distance of 1.45 metres.

Previously the refused scheme proposed semi detached properties with a half hipped roof design very similar to that already evident at numbers 54 and 56, the half hip meaning that

the eaves level along the southern boundary was 4.5 metres. In contrast, the bungalow now proposed has a pitched roof that slopes away from Chiltern Close and the eaves level proposed is much lower at 2.75 metres.

The height of the houses proposed under the previous scheme was 6.9 metres to the ridge and the half hipped design meant the the full height of the roof was set away from the edge of the site by 4.3 metres. The pitched roof of the proposed bungalow is shown as 5.8 metres high. The overall impact of the roof further reduced as it is hipped away from Chiltern Close. The apex of the ridgeline is set 5.5 metres away from the edge of the site. The height of the overall building can be conditioned to ensure it remains as shown on the plans.

It is considered that the gable pitch roof design of the proposed bungalow dwelling is acceptable, and the proposed dormers to the northern side roofslope would not constitute a precedent on the streetscene, given the existence of front, side and rear dormers in neighbouring properties in the area. Paragraph 7.7 of the Council's adopted HDAS Residential Extensions (December 2008) specifies that 'a dormer window or roof extension must be constructed in the centre of the roof face. Paragraph 7.8 specifies that as a guide, any roof extension to a detached dwelling house should be set at least 1m below the ridge level, at least 1m above the eaves level and at least 1m from the sides of the roof. The scale, bulk and design of the proposed side dormers are such that it is considered they would constitute proportionate additions to the proposed bungalow dwelling, and be sufficiently contained within the northern side roofslope. The 'barn-style' hipped roofs of the side dormers are such that they would visually relate well with the characteristic pitch roof design of dormers in neighbouring properties, and ensure the breakup of the massing of the proposed bungalow dwelling. It is therefore considered that the proposed dormers would compliment and harmonise with the character and appearance of the streetscenes and wider area.

The scale and design of the proposed rooflights in the proposed bungalow dwelling are considered acceptable, and it is also helpful to note that both the proposed two storey dwelling and bungalow dwelling would incorporate fenestration and design features that are characteristic of the immediate locality.

The bungalow is not positioned any further away from the site boundary than the previous application which was refused on the basis of its erosion of space. However, this current scheme is both lower in overall height and lower to the eaves. In addition the orientation of the roof means that the roof slopes away from Chiltern Close. There would continue to be a greater visual impact of the proposed development over and above the existing bungalow on the site. However, this impact is now less than that represented on the previously refused application. On balance it is considered that these factors in combination are sufficient to overcome the previous reason for refusal.

The proposal is therefore considered to accord with the design objectives of Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE13, BE15 and BE19 of the Hillingdon Local Plan - Saved UDP Policies (November 2012) and the advice contained within the HDAS SPDs: Residential Layouts and Residential Extensions.

7.08 Impact on neighbours

Policies BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) specifies that new buildings should not result in the loss of sunlight or loss

of residential amenity. Policy BE20 specifies that 'buildings should be laid out so that adequate daylight and sunlight can penetrate into and between them and the amenities of existing houses are safeguarded'. Policy BE21 specifies that 'planning permission will not be granted for new buildings or extensions which by reason of their siting, bulk and proximity, would result in a significant loss of residential amenity.

Paragraph 4.11 of the Residential Layouts HDAS gives advice that the 45 degree line of sight principle will be applied to new development, to ensure the amenity of adjoining occupiers and future occupiers are protected. Paragraph 4.9 of the HDAS SPD specifies that a minimum acceptable distance to minimise the negative impact of overbearing and overshadowing is 15m. Paragraph 4.12 of the HDAS SPD requires a minimum of 21m distance between facing habitable room windows to prevent overlooking and loss of privacy.

The objections from the local residents in respect of loss of light, outlook, overlooking and loss of privacy are noted.

The proposed dwellings would not directly back onto any neighbouring dwellings, and their rear garden boundaries would back onto a turning head area on Chiltern Close. The relationship with the adjacent dwelling to the north at No.54 is not unusual, given that it would be sited in a linear street of dwellings. The proposed two-storey detached dwelling will be set in 1m and 1.4m from the side boundary with the adjacent dwelling at No.54, and would project beyond the rear wall of that adjacent dwelling by 2.4m. The submitted plans demonstrate that the proposed two storey dwelling would not breach any 45 degree line of sight from the nearest edges of the closest rear facing windows (ground and first floors) at the dwelling at No.54, therefore ensuring there would be no form of overshadowing or loss of light and outlook for the occupiers at No.54.

The distance between the rear of the proposed two storey dwelling and the western side elevation of the closest neighbouring property to the rear, No. 50A Chiltern Close, is approximately 13.9m. It should be noted that it is not the same type of building relationship that applies with the 15m HDAS guideline as the buildings are not parallel to one another. The side elevation of the dwelling at No.50A would have a north-eastern orientation in relation to the rear of the proposed dwelling. The western side elevation of the dwelling at No.50A does not consist of any habitable room windows. The first floor rear windows of the proposed dwelling would only look directly onto the front drive of No.50a and not directly into any habitable rooms. Oblique views could be possible from the first floor window in the rear, eastern facing, window of the bungalow. To address this, it is recommended that an obscure glazing condition be imposed on any approval granted.

The proposed two storey dwelling would feature first floor windows in its northern and southern flank walls, which would serve non-habitable rooms. It is however considered expedient to recommend a condition to ensure that these windows are permanently obscure-glazed and non-opening from a height of 1.8m below the finished floor level of those rooms

The proposed bungalow dwelling would have no adverse implications for residential amenities at the closest adjacent dwelling to the south at No.36, given the intervening Chiltern Close highway. The distance between the front elevation of the dwelling at No. 50A Chiltern Close to the rear and the rear elevation of the proposed bungalow would be approximately 21m, which complies with the guidance in paragraph 4.12 of the HDAS SPD. It has been considered that the 1m separation of the proposed bungalow from its northern side boundary with the proposed two storey dwelling is acceptable, and the proposed side

dormers would be obscure-glazed. Even though two of the side dormer windows would serve habitable rooms, these dormer windows would constitute secondary openings for these habitable rooms.

It is considered therefore that the proposed development would be unlikely to result in any adverse impact on the residential amenities currently enjoyed by the occupiers of adjacent properties. Accordingly, in this regard, the proposed development would comply with the guidance contained in Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the guidance contained in the Residential Layouts HDAS SPD.

7.09 Living conditions for future occupiers

Policy 3.5 of The London Plan (2015) specifies that housing developments should be of the highest quality internally, externally and in relation to their context and to the wider environment.

On 25 March 2015, the Government introduced new technical housing standards in England, which comprise of new additional 'optional' Building Regulations on water and access, and a nationally described space standard (referred to as "the new national technical standards"). These new standards came into effect on 1 October 2015 and the Mayor of London has adopted them as the Housing Standards Minor Alterations to The London Plan (March 2016). Table 3.3 of the adopted standards specify that for a two storey 4-bedroom 8 people dwelling, the required minimum gross internal area should be 124 sq.m, whilst it should be a minimum gross internal area of 102 sq.m for a two storey 3-bedroom 6 people dwelling.

The proposed two storey dwelling would consist of 4 bedrooms, whilst the proposed detached bungalow dwelling would consist of 3 bedrooms. The total internal area for the proposed two storey detached dwelling would be approximately 176 sq.m, whilst the total internal area for the proposed bungalow would also be approximately 176 sq.m. These provided floor areas would therefore significantly exceed the required minimum floor areas specified in the space standards, and ensure the proposed dwellings constitute satisfactory living environments for potential future occupiers.

The submitted plans show that all the proposed habitable rooms would maintain an adequate outlook and source of natural light, therefore complying with the standards in the Mayor of London's Housing SPG (December 2012) and the Housing Standards Minor Alterations to The London Plan (March 2016).

External Amenity Space

The Residential Layouts and Residential Extensions HDAS SPDs give guidance that for a:

- 3 bedroom house, at least 60 sq.m of private amenity space should be provided, and for a
- 4 or more bedroom house, at least 100 sq.m of private amenity space should be provided

The submitted plans show that the proposed two storey detached dwelling, which would consist of 4 bedrooms, would have approximately 108.40 sq.m of private rear garden space. The proposed detached bungalow dwelling, which would consist of 3 bedrooms, would have approximately 76 sq.m of private rear garden space.

Therefore the proposed development complies with Policy BE23 of the Hillingdon Local

Plan: Part Two - Saved UDP Polices (November 2012) in respect of the provision of adequate usable amenity space.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part Two - Saved Unitary Development Plan Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

Policy AM14 specifies that new development will only be permitted where it is in accordance with the Councils adopted Car Parking Standards, which states that a maximum of 2 spaces should be allocated per dwelling.

The objections from local residents in respect of parking and traffic problems and hazard as a result of the siting of the new vehicular crossover in close proximity to the Breakspear School is noted.

The submitted plans show that each of the proposed dwellings would have 2 off-street parking spaces in their front gardens, and these spaces would be arranged in parallel and at right angles to the highway. The Council's Highways officer has not raised any objection in this regard, as the arrangement would allow for ease of passage and safe manoeuvrability of vehicles within the curtilages of the sites. Therefore, it is considered that the proposal would be unlikely to result in an increase in the demand for additional on-street parking to the extent that this would be prejudicial to both pedestrian and highway safety in the immediate vicinity. Storage for two cycles per dwelling is provided in the outbuilding in the rear gardens, which complies with the Local Plan and The London Plan standards.

It is also instructive to note that the existing vehicular crossover, which is sited very close to the junction with Chiltern Close, would be blocked off and re-instated as part of the adjoining footpath. Furthermore, the sole new crossover proposed would be sited further away from that junction and have a central positioning. The Highways Officer has not raised any objection to the width of the crossover and associated visibility splays, and the 0.6m high low-level walls provided along the front boundary would not be obstructive, and help guard against any overhanging of vehicles onto the adjoining footpath.

Given the above considerations, the proposal would provide adequate and sustainable transport/parking facilities within the site, and it would not be detrimental to highway/pedestrian safety in the immediate locality, thereby compliant with Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's adopted car parking standards.

7.11 Urban design, access and security

It has been considered that the proposed development would incorporate a level of design that would not detract from the preservation of the character and appearance of both the Bushey Road and Chiltern Close streetscenes.

The proposed development would incorporate an acceptable level of accessibility and it would feature entrances and openings to the primary front elevation, which look out towards the Bushey Road highway, and ensuring that natural surveillance of the proposed dwellings from the highway is maintained.

7.12 Disabled access

Policy 3.5(c) of The London Plan requires all new homes to be built to Lifetime Homes

standards. However, the new national standards, which comprise of new additional 'optional' Building Regulations on water and access, substitute this Lifetime Homes requirement. From October 2015, the new national standards specifies that the requirement should be interpreted as 90% of homes to meet Building Regulation M4(2) - 'accessible and adaptable dwellings'.

Policy 3.5(d) of The London Plan requires ten per cent of new housing to be designed to be wheelchair accessible or easily adaptable for residents who are wheelchair users. From October 2015, the new national standards specifies that this should be interpreted as requiring ten per cent of new housing to meet Building Regulation M4(3) - 'wheelchair user dwellings'.

The proposal incorporates only two new dwellings and as such, they do not constitute 'Wheelchair User dwellings'. The requirements of Part M4(3)4 is therefore not applicable in this regard. The submitted plans show the provision of adequate corridor/lobby/door opening widths and bathroom furniture layouts, which can enable bathrooms to be used as wet rooms in future, as well as the provision of level threshold access to the primary ground floor front entrance doors. As such, it is considered that the dwellings have been designed to Part M4(2)3, as set out in Approved Document M to the Building Regulations 2015, and comply with the requirements of Policy AM13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policies 3.5 and 3.8 of The London Plan (March 2015) in this regard.

7.13 Provision of affordable & special needs housing

Not applicable with this application.

7.14 Trees, Landscaping and Ecology

Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies seeks the protection and retention of existing trees and landscape features of merit, and considers where appropriate the provision of additional landscaping as part of a proposed development.

Presently, there are no trees of any high amenity value within the site. Even though four off-street parking spaces with associated hardsurfacing are proposed within the front gardens of the two proposed dwellings, the Council's Trees Officers have commented that the proposal has made provision for additional soft landscaping and planting with more than 25% coverage of the front gardens. The Trees Officers has however recommended a suitable condition to ensure the implementation of a landscaping scheme, which would ensure an attractive and complementary appearance of the dwellings on the streetscene.

This would help ensure compliance with the requirements of Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

The proposal incorporates residential development for single family occupancy, and there would be adequate scope within the curtilages and rear gardens of the sites for the secure storage of domestic waste (refuse and recycling).

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

The Council's Flood and Water Management Officer has commented that the site is situated on a plot, which is shown to be "At risk of surface water flooding" on the Environment

Agency (EA) Mapping. The Officer has therefore recommended the addition of a suitable condition to this decision, requiring the submission and approval of a scheme for the provision of sustainable water management prior to the commencement of any works.

This would help ensure compliance with the requirements of Policy EM6 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies OE7 and OE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policies 5.12, 5.13 and 5.15 of The London Plan (March 2015).

7.18 Noise or Air Quality Issues

There are no adverse noise or air quality issues to address as part of this application proposal.

The proposed development would not result in an over-intensification of the established residential use of the application site.

7.19 Comments on Public Consultations

The representations (objection and support) from local residents in form of a petition and letters have been discussed extensively above in the main section of this report.

7.20 Planning Obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

COMMUNITY INFRASTRUCTURE LEVY

The total CIL liability has been calculated as £33,440.00

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

Notwithstanding the location of the application site in a prominent corner plot junction, it is considered, on balance, that the proposed development by reason of its acceptable design, scale, form, proportions and footprint, would not constitute over-development of the site, and it would not constitute an over-dominant, obtrusive and/or overbearing impact on the character, appearance and visual amenities of the Bushey Road and Chiltern Close streetscenes.

The proposed new dwellings on the site would not cause any detrimental impact on the residential amenities currently enjoyed at adjacent properties in the immediate locality, in respect of natural light, outlook, overshadowing and visual intrusion. There are no privacy issues arising and adequate separation distances are proposed to avoid direct overlooking of adjacent properties to the sides and rear.

Satisfactory living environments would be provided for potential future occupants of the proposed dwellings in the form of internal floorspaces that exceed minimum required space standards, as well as adequate usable rear garden amenity spaces.

The proposed off-street parking provision with new associated vehicle crossover in a central

position, is acceptable and would not be likely to result in a demand for additional on-street parking for occupants of the proposed dwellings. The new crossover and off-street parking would not have any adverse implications for general highway and pedestrian safety in the locality given the provision of appropriate visibility splays, and adequate soft-landscaping would be provided in the front gardens to ensure the preservation of the appearance of the streetscenes.

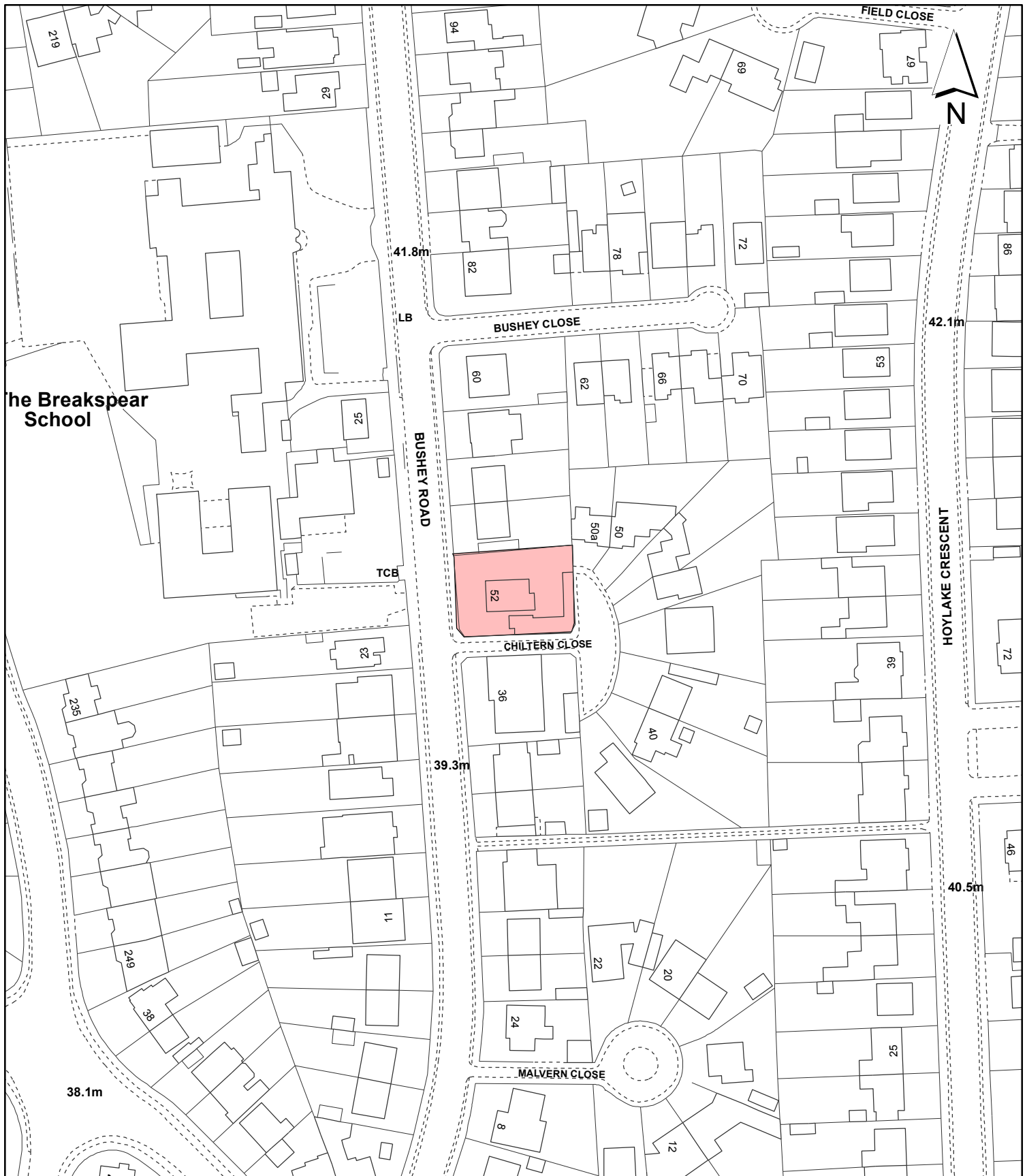
As such, the proposal is considered to comply with Policies AM7, AM14, BE13, BE15, BE19, BE20, BE21, BE22, BE23, BE24 and BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and the adopted HDAS SPD: Residential Layouts.

11. Reference Documents

The London Plan (2015).
Hillingdon Local Plan Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
Mayor of London's Housing Supplementary Planning Guidance (November 2012)
Housing Standards Minor Alterations to The London Plan (March 2016)
Parking Standards Minor Alterations to The London Plan (March 2016)
Supplementary Planning Document HDAS: Residential Layouts (July 2006)
Supplementary Planning Document HDAS: Accessible Hillingdon (January 2010)
National Planning Policy Framework (March 2012)

Contact Officer: Victor Unuigbo

Telephone No: 01895 250230



The Breakspear School

Notes:

 Site boundary

For identification purposes only.
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Site Address:

**52 Bushey Road
Ickenham**

**LONDON BOROUGH
OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

71297/APP/2016/529

Scale:

1:1,250

Planning Committee:

North Page 25

Date:

July 2016



HILLINGDON
LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address HAREFIELD HOSPITAL HILL END ROAD HAREFIELD MIDDLESEX

Development: Infill extension on the second floor balcony in order to create a 16 bed ward and 4 bed High Dependency Unit including installation of roof mounted plant (works involve demolition of part of the existing concrete canopy)

LBH Ref Nos: 9011/APP/2016/1862

Drawing Nos: Planning Stage Drainage Design Statemen
Heritage Statemen
Energy Statemen
Design and Access Statemen
10-001 Rev. A
11-001 Rev. A
11-002 Rev. A
15-001 Rev. A
21-002
21-001 Rev. A
30-001
SK-004
31-001 Rev. C

Date Plans Received:	16/05/2016	Date(s) of Amendment(s):	16/05/2016
Date Application Valid:	16/05/2016		20/05/2016
			22/06/2016

1. SUMMARY

This application is for an infill extension to enclose the last remaining balcony area on the south elevation of the locally listed main hospital building located on the second (top) floor of the eastern wing to extend the existing internal floor area in order to allow the provision of a new 18 bed ward, together with an associated 4 bed High Dependency Unit (HDU) and nursing, visitor and servicing facilities. The existing administrative and office uses occupying this floor space would be re-located to vacant hospital buildings elsewhere within the hospital grounds.

Members may recall a recent planning application (9011/APP/2014/3602 refers) that was presented to the Major Application Planning Committee on 2/6/15 which included two elements, a ground floor permanent extension to provide additional Intensive Treatment Unit (ITU) accommodation, CT and MRI scanners to the rear of the eastern wing of the main hospital building and also a new 18 bed portable ward building (to be known as 'Holly' ward) sited above the temporary 'Acorn' ward building at the rear of the western wing of the main hospital building. That application was approved, following the signing of a S106 Agreement on 18/9/15.

The hospital has advised that the provision of 'Holly' ward is prohibitively expensive, particularly as this only offered a temporary fix to the need for more bed space at the hospital and have therefore put forward this alternative permanent solution.

It is considered that the scheme, being an infill extension, would not adversely impact upon

the openness of the Green Belt and fully complies with relevant Green Belt policy and the site specific green belt policy which applies to Harefield Hospital. Furthermore, the scheme has evolved with the input of the Council's Conservation/ Urban Design Officer who is fully supportive of the design, subject to its detailing which would be controlled through the recommended conditions.

There would be no adverse impact upon the amenities of surrounding residential occupiers through loss of sunlight, dominance or overlooking and there would be no landscaping issues with this second floor extension.

This scheme, just like the previous 'Holly' ward scheme will increase car parking at the hospital, albeit this increase is likely to be modest and through the use of a Travel Plan and the study/ scheme for on-street parking management in the area, which would also be secured through a Deed of Variation/ S106 Agreement, the scheme provides a proportionate means by which parking pressures associated with the hospital, particularly on surrounding streets can be assessed and hopefully alleviated over time. There would also be a need for the S106 Agreement to ensure that the 'Holly ward element of the previous permission can not be implemented.

The scheme is recommended for approval.

2. RECOMMENDATION

That delegated powers be given to the Head of Planning and Enforcement to grant permanent and temporary planning permission, subject to the following:

A) That the Council enter into a legal agreement with the applicants under Section 106/Unilateral Undertaking of the Town and Country Planning Act 1990 (as amended) or other appropriate legislation to secure:

1. The partial non-implementation of planning permission dated 18/9/15, App. No. 9011/APP/2014/3602 refers for the temporary extension above Acorn Ward to provide a new 18 bed ward with associated access (to be known as Holly ward) and its link to the main hospital block via a new bridge,

2. A Green Travel Plan for the Hospital Trust, to include a £20,000 bond, and

3. a. Prior to the start of construction, the submission of the scope of a study for developing a coordinated scheme for the management of on-site and on-street car parking in the area, to be submitted to and agreed in writing by the Local Planning Authority.

3. b. Prior to occupation, funding and implementation of the coordinated on-site car park management plan and a scheme for management of on-street car parking in the area, as agreed with the Council.

B) That the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.

C) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.

D) That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised before the 26th July 2016, or any other period deemed appropriate that delegated authority be given to the Head of

Planning and Enforcement to refuse the application for the following reason:

'The applicant has failed to ensure that the necessary Travel Plan and funding for the study/ scheme for on-street parking management would be undertaken/prepared/committed in a timely manner and to an appropriate standard. The scheme therefore conflicts with Policies AM2 and AM7 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).'

E) That subject to the above, the application be deferred for determination by the Head of Planning and Enforcement under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

F) That if the application is approved, the following conditions be attached:-

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 15-001 Rev. A, 21-001 Rev. A, 21-002, 31-001 Rev. C and SK-004 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (March 2016).

3 COM5 General compliance with supporting documentation

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

Reduction in energy use and renewable technology installation [Energy Assessment]

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence

REASON

To ensure that the development complies with the objectives of Policies 5.2 and 5.3 of the London Plan (March 2016).

4 NONSC Building recording

Prior to the commencement of any works on site, internally on the top floor only and externally on this wing of the building, the building shall be recorded to English Heritage level 2, the scope and content of this document to be agreed in writing with the LPA and once agreed, copies to be provided for the Local History Archive at Uxbridge Library and Historic England.

REASON

To ensure that a record of the listed building is provided, in accordance with Policy BE9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

5 NONSC Details of works and materials/ finishes

Details of the following shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of works on that element:-

- a) Repairs to the existing balustrade and details of the design and materials of the replacement balustrade where required,
- b) Details of the size and position of roof level services and air handling units,
- c) Details of the design, materials, colours and finishes of the new glazed facade,
- d) Details of the repairs to existing concrete features, brickwork repairs and reglazing of the retained elements of the rear facade,
- d) Details of the finish, including colour, of the new external canopy and fascia, and
- e) Details of the junctions of new partitions and existing/new windows

Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

6 NONSC Noise rating level

The rating level of noise emitted from the plant and/or machinery hereby approved shall be at least 5 dB below the existing background noise level. The noise levels shall be determined at the nearest residential property. The measurements and assessment shall be made in accordance with British Standard 4142 "Method for rating industrial noise affecting mixed residential and industrial areas".

REASON

To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September

2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

NPPF1	NPPF - Delivering sustainable development
NPPF7	NPPF - Requiring good design
NPPF8	NPPF - Promoting healthy communities
NPPF9	NPPF - Protecting Green Belt land
NPPF10	NPPF - Meeting challenge of climate change flooding coastal
NPPF12	NPPF - Conserving & enhancing the historic environment
LPP 3.1	(2015) Ensuring equal life chances for all
LPP 3.2	(2015) Improving health and addressing health inequalities
LPP 3.17	(2015) Health and social care facilities
LPP 5.2	(2015) Minimising Carbon Dioxide Emissions
LPP 5.3	(2015) Sustainable design and construction
LPP 5.7	(2015) Renewable energy
LPP 5.12	(2015) Flood risk management
LPP 5.13	(2015) Sustainable drainage
LPP 5.15	(2015) Water use and supplies
LPP 6.3	(2015) Assessing effects of development on transport capacity
LPP 6.9	(2015) Cycling
LPP 6.10	(2015) Walking
LPP 6.13	(2015) Parking
LPP 7.2	(2015) An inclusive environment
LPP 7.3	(2015) Designing out crime
LPP 7.4	(2015) Local character
LPP 7.6	(2015) Architecture
LPP 7.8	(2015) Heritage assets and archaeology
LPP 7.13	(2015) Safety, security and resilience to emergency
LPP 7.14	(2015) Improving air quality
LPP 7.16	(2015) Green Belt
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings
BE4	New development within or on the fringes of conservation areas
BE8	Planning applications for alteration or extension of listed buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
R16	Accessibility for elderly people, people with disabilities, women and children
R17	Use of planning obligations to supplement the provision of recreation leisure and community facilities

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
PR20	Harefield Hospital
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

3 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

The application site forms the eastern wing of the main hospital building which forms two, three storied elliptical wings linking through a central core which were built in the 1930s and

have an exposed concrete frame with brick infilling and a loose Art Deco style. These buildings are locally listed and are sited within the main built-up part of the hospital grounds which extend to some 19.14 hectares to the north of Harefield Village centre, on the western side of Rickmansworth and Hill End Roads.

The hospital was originally designed as a sanatorium. Most of the original recessed bays within the 2 elliptical ward blocks have been in-filled. These existing in-fills have yielded mixed results in terms of showing an adequate degree of sympathy and respect to the original design and built form of the hospital block.

The hospital site is designated by the Hillingdon Local Plan: Part Two - Saved UDP policies as a major developed site within the Green Belt. The southern part of the site, including the main 1930s wings and the areas of the two extensions also form part of the Harefield Village Conservation Area. The site also forms part of the Harefield North Archaeological Priority Area and the Colne Valley Archaeological Priority Zone. The site is also included within the Colne Valley Regional Park. A number of the buildings on the site are statutory listed as Grade II.

3.2 Proposed Scheme

The proposal is to extend the existing internal floor space at second floor level on the eastern wing of the hospital's main building by enclosing the existing external balcony area on the south side of the building. This will increase the total amount of second floor space within this wing by approximately 182sqm to 1,250sqm.

The works involve demolishing the existing second floor south wall and installing new glazed curtain walling approximately 1.8m further out on the balcony, but inside the retained and restored curved balcony balustrade, with the roof being extended to meet and slightly overhang the new curtain wall. The central section of roof would also be raised by up to 800mm to incorporate modern services and there will be new air handling units at roof level, positioned on the "pods" off the main building. The balcony and roof above the central raised rotunda that marks the staircase lobby that would be used as the nurse's base would be retained and restored with the new roof each side of the retained balcony curved around the corner to meet the original recessed roof.

The proposals will also rationalise the existing rainwater pipes which currently run down the front face of the building in grey uPVC and add to the general detritus of the whole. The proposed design will take rainwater to the other side of the building and down existing pipework. Soil pipework from the new en-suite facilities and the clinical washbasins in each bedroom will run down the south facade at set distances in cast iron pipes.

The enlarged space will provide new patient accommodation with a new ward comprising 16 single bed rooms with en-suite facilities, together with a reception area within the main enlarged wing with an associated 4 bed High Dependency Unit (HDU), nursing, catering, utility and visitor facilities within the existing 'pods', 4 of which project from the main wing on the northern elevation and 1 from the side of the building. Patients in this ward with thoracic and coronary conditions will be provided with round the clock nursing and the unit will be open at all times throughout the year. The existing administration block which occupies this floor, including offices, storage space and a board room within one of the pods would be relocated in refurbished redundant buildings elsewhere on the hospital site.

The individual bedrooms would all be located on the southern face of the wing. They will

occupy the space previously taken by the original bedrooms and will extend onto the balcony within the new structure. Each bedroom will have en-suite washing and toilet facilities, which to simplify the layout and the disposition of services will be back to back with adjacent bathrooms.

The proposal has formed the subject of a pre-application enquiry and the design of the scheme has developed in close consultation with the Council's Conservation/ Urban Design Officer.

This proposal is a replacement scheme for the 18 bed 'Holly' ward scheme which was approved on 18/9/15 (9011/APP/2014/3602 refers). The hospital advise that the previous scheme is prohibitively expensive, particularly as this only offered a temporary fix to the need for more bed space at the hospital and have therefore put forward this alternative permanent solution.

The application is supported by the submission of the following documents:-

Design and Access Statement:

This describes the use of the buildings and the proposed development, including its appearance and access provision.

Heritage Statement:

This provides an introduction to the assessment, including a description of the site and the development proposals. Relevant legislation and the policy context is considered and the report's methodology described. The likely impacts of the proposals upon the heritage assets of the site and their setting are assessed. The report concludes that only the locally listed hospital main building has the potential to be affected, and then only on the second floor and that through responsive design, in consultation with the LPA Conservation Officer, the proposed development has been designed to ensure that key heritage impacts have been given full consideration in developing a scheme that also meets the requirements to upgrade facilities.

Energy Assessment:

This provides an introduction to the study, describes the site and the development proposals. Relevant building regulations are assessed and the existing building is modeled to define the baseline CO2 emissions. The proposed building with individual building inputs were assessed and the report concludes that the scheme would result in a thermal improvement on the existing structure, which would be compliant with the relevant building regulations if the appropriate building inputs, including the use of blinds were used.

Planning Stage Drainage Design Statement:

This describes the proposed drainage works and concludes that the proposed works would not increase the amount of impermeable drained area and therefore would not increase the amount of surface water run-off and the increase in foul drainage would not be significant as compared to existing levels.

3.3 Relevant Planning History

Comment on Relevant Planning History

There have been numerous planning applications submitted on the hospital site over the years. Of particular relevance to this application is the following:-

Permission was granted on 18/9/15 for the temporary retention of Acorn Ward and Oak Ward; temporary extension above Acorn Ward to provide a new 18 bed ward with associated access (to be known as Holly ward), linking it to the existing main block via a new bridge; and single storey extension to provide additional ITU accommodation, CT and MRI scanners and associated patient, user and staff accommodation (App. No. 9011/APP/2014/3602 refers).

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.E7 (2012) Raising Skills
- PT1.HE1 (2012) Heritage
- PT1.BE1 (2012) Built Environment
- PT1.EM1 (2012) Climate Change Adaptation and Mitigation
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.EM6 (2012) Flood Risk Management
- PT1.EM7 (2012) Biodiversity and Geological Conservation
- PT1.EM8 (2012) Land, Water, Air and Noise
- PT1.T1 (2012) Accessible Local Destinations
- PT1.CI1 (2012) Community Infrastructure Provision

Part 2 Policies:

- NPPF1 NPPF - Delivering sustainable development
- NPPF7 NPPF - Requiring good design
- NPPF8 NPPF - Promoting healthy communities
- NPPF9 NPPF - Protecting Green Belt land
- NPPF10 NPPF - Meeting challenge of climate change flooding coastal
- NPPF12 NPPF - Conserving & enhancing the historic environment
- LPP 3.1 (2015) Ensuring equal life chances for all
- LPP 3.2 (2015) Improving health and addressing health inequalities
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R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with

- disabilities in development schemes through (where appropriate): -
- (i) Dial-a-ride and mobility bus services
 - (ii) Shopmobility schemes
 - (iii) Convenient parking spaces
 - (iv) Design of road, footway, parking and pedestrian and street furniture schemes

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
PR20	Harefield Hospital
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **22nd June 2016**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

24 neighbouring properties have been consulted, the application has been advertised in the local press as affecting the character or appearance of Harefield Village Conservation Area on 1/6/16 and a site notice was displayed on 26/5/16 with a closing date of 20/6/16. 1 response has been received, raising the following points, summarised below:-

(i) There should be no more expansion at the hospital until it resolves the car parking. Staff cars are clogging up roads on the side streets in the area with no consideration to the residents and even park in Sanctuary Close even though there is a sign saying parking is for residents only.

Harefield Tenants and Residents' Association: No response.

Harefield Village Conservation Area Panel: No response.

Harefield History Society: No response.

Internal Consultees

CONSERVATION / URBAN DESIGN OFFICER:

Harefield Hospital lies within the Harefield Village Conservation Area, the building subject of this application is the largest of the Locally Listed complex of 1930s local authority sanatorium buildings. These are in a striking, stream-line "modernist" style and purposely located on a hill top to take advantage of the clear air. The building proposed for extension comprises two curved wings linked by a central tower. The rear elevations of the wings originally included floor to ceiling metal framed glazed facades opening out onto deep verandas and balconies. These were an important element in the treatment for TB at the time, when patients with breathing difficulties were exposed to the fresh air for long periods of time. The front was and still is a simply detailed curved brick facade, with a central entrance with steps to a generous foyer. This space still retains many "Art Deco" decorative features including light fittings.

Today the rear elevation of the building is much altered, with all floors except the area subject of this application having lost their glazing and balconies. The area subject of this application retains the original balcony and balustrade, canopy and roof form, including a central raised rotunda that marks the staircase lobby. The original windows, however, have been removed and the openings partially bricked in. Externally the original open setting of the building has been lost and the space has been infilled with many ad-hoc structures of varied height and design. As a result of this it is no longer possible to really appreciate the full extent of what originally must have been a very impressive structure. The interior at second floor level retains its original layout and a number of features, such as timber doors with port hole windows, contemporary door furniture, original stairs and balustrades.

The proposals, which include a full and well detailed heritage statement, are for the retention of the structure of the top floor and the creation of a new glazed facade, positioned forward of that existing but still set behind the original restored balustrade. The roof level will be raised to incorporate modern services and there will be new AHUs at roof level, positioned on the "pods" off the main building. Whilst it is regretted that the original and only remaining balcony will be lost to view, the new glazed facade strives to retain something of the spirit of the original glazed facades of the hospital and the design could eventually be replicated on the other wing, replacing the poorly designed cladding that currently exists on the upper floor. Both wings would then be symmetrical in appearance as originally intended. As part of the recent revisions, the existing concrete structure of the upper floor will be retained within the new structure so that the original form of the roof and canopy would not be lost.

The changes to the facade are such that it is not considered that the proposed works would have any adverse impact on the overall significance of the non designated asset (the Locally Listed Building) or the character and appearance of the wider setting of the conservation area (a designated asset).

No objections, subject to conditions requiring the recording of the building and details of the repair works, roof level services and materials be submitted.

HIGHWAYS ENGINEER:

The application involves the creation of one new 16 bed ward plus a nearby 4 bed ward to replace existing offices which are to be relocated to another building on the site. There is no specific Transport Statement or even a Technical Note relating to traffic flow or car parking at this busy hospital site.

In a previous application (9011/APP/20114/3602) a parking survey was carried out in 2015. This parking survey found that there was spare parking capacity on the site although there were over 900 staff and 149 beds on the site. The application for temporary ward accommodation was subsequently approved.

Although there are bus services operating to the site, the PTAL value for the hospital is 1b (poor) so car parking on the site is an issue.

From comments made in the Design and Access Statement it would appear that the current office area was previously used as a hospital ward and is now reverting back to that previous use.

The site has a number of car parking areas that are spread round the hospital complex and it is often not clear to visitors whether there are vacant parking spaces available.

I have been in talks with WSP over the discharge of conditions that related to car parking issues on the site and potential solutions were covered by a S106 agreement relating to the previous planning application on the site (9011/APP/2014/3602).

There are issues on the hospital site with providing access to the parking areas on the site and the previous condition relates to providing solutions to this issue.

This whole on-site parking issue has not been helped by the hospital charging for car parking spaces

I would suggest that as the 20 additional beds add to a significant increase in the number of patients and presumably visitors I would suggest that the same conditions be applied as in the previous application for a temporary ward.

Other than the above comments on a condition relating to on-site car parking I have no significant objections to the application.

SUSTAINABILITY OFFICER:

No objections to this scheme.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The hospital site forms part of the designated Metropolitan Green Belt. National policy in relation to development within the Green Belt is contained within the National Planning Policy Framework (NPPF) which advises that the prime aim of Green Belt policy is to prevent urban sprawl, by keeping such land permanently open. This is to be achieved by resisting inappropriate development, which by definition is harmful to the Green Belt. London Plan policies and Hillingdon's Green Belt policies, specifically Policies OL1 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) echo this national policy objective. However, Policy OL1 does identify Harefield Hospital as being a major developed site within the Green Belt where limited infilling or redevelopment may be acceptable.

Policy PR20 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) is the site specific policy which relates to Harefield Hospital and states that infilling and redevelopment for health purposes associated with Harefield Hospital will be acceptable in principle where appropriate, subject to:

- (i) green belt considerations,
- (ii) compatibility with the Harefield Village conservation area;
- (iii) a comprehensive approach and appropriate phasing including provision of associated access, servicing, car parking and landscaping in accordance with the Council's current policies and standards;
- (iv) land bank provision to allow for possible future changes in the need for health services; and
- (v) where land at North Wards site is surplus to current and future Harefield Hospital requirements, a Mediparc associated with and having close operational linkages with Harefield Hospital is acceptable in principle.

This proposal would not result in any additional building footprint being created and would not materially alter the existing bulk and mass of this wing of the main hospital building so as to impact upon the openness of the Green Belt. Furthermore, the impact of the proposals on the Harefield Village Conservation Area and upon the need for possible phasing, access, car parking and landscaping have been assessed in the relevant sections below in the officer's report, and the extensions are to meet the hospital's requirements for additional facilities and capacity enhancement, so that the scheme is considered to fully comply with Policy PR20 of

the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 29012).

7.02 Density of the proposed development

Not applicable to this development.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Harefield Hospital lies within the Harefield North Archaeological Priority Area and the Colne Valley Archaeological Priority Zone, the south eastern corner of the hospital grounds, including the main built-up envelope of the hospital buildings form part of the Harefield Village Conservation Area and the hospital grounds contain a number of statutory and locally listed buildings, including the locally listed main hospital building.

The proposal for an infill extension on the second floor will not affect any archaeological interest that there may or may not be on site. Also, the works are sufficiently distant and screening by existing buildings from the statutorily listed buildings on site which are sited further to the west so that it is only the impact upon the Harefield Village Conservation Area and the locally listed building that are of relevance.

The design of the infill extension has been developed to maintain an 'open' aspect to the enclosing of the balcony through the use of expansive glazing. The glazing system used will also reflect that of the original facade. The tower feature will be maintained, and where internal features cannot be restored and retained they will be replaced with features reflecting the original design.

The Council's Conservation / Urban Design Officer advises that the rear elevation of the building is much altered, with all floors except the area the subject of this application having lost their glazing and balconies. The area the subject of this application retains the original balcony and balustrade, canopy and roof form, including a central raised rotunda that marks the staircase lobby, although the original windows have been removed and the openings partially bricked in. Externally, the officer notes that the original open setting of the building has been lost and the space has been infilled with many ad-hoc buildings and structures of varied height and design so that it is no longer possible to really appreciate the full extent the original structure. The interior at second floor level retains its original layout and a number of features, such as timber doors with port hole windows, contemporary door furniture, original stairs and balustrades.

The officer advises that whilst it is regretted that the original and only remaining balcony will be lost to view, the new glazed facade does retain something of the spirit of the original glazed facades of the hospital and the design could eventually be replicated on the other wing, replacing the poorly designed cladding that currently exists on the upper floor. Both wings would then be symmetrical in appearance as originally intended. As part of the recent revisions, the existing concrete rotunda structure of the upper floor will be retained within the new structure so that the original form of the roof and canopy would not be lost.

As a result of this assessment, it is considered that the proposed changes to the facade would not have any adverse impact on the overall significance of the Locally Listed Building and would preserve the character and appearance of the wider setting of the Conservation Area. The Council's Conservation/ Urban Design Officer raises no objections to the scheme subject to conditions to require the recording of the building and the detailed elements of the design and materials which form part of the officer's recommendation. As such, the scheme complies with Policies BE4 and BE8 of the Hillingdon Local Plan: Part Two -Saved UDP Policies (November 2012).

7.04 Airport safeguarding

Not applicable to this development.

7.05 Impact on the green belt

The site specific policy for this site (Policy PR20 of the Hillingdon Local Plan) advises that infilling and redevelopment proposals for health purposes associated with Harefield Hospital will be acceptable in principle where appropriate, subject to amongst other criteria, green belt considerations.

The infill extension to the second floor balcony area on the east wing of the main hospital building would not increase the built-up appearance of the building. Also the minimal increase in height of parts of the building and the new air handling units would be sited away from the roof edges where they would not be readily visible from ground level.

As such, it is considered as the proposals would not materially increase the bulk and mass of the building so that the openness of the Green Belt would not be prejudiced, in accordance with Policies OL4 and PR20 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.07 Impact on the character & appearance of the area

This is dealt with in Section 7.03 above.

7.08 Impact on neighbours

Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seek to protect the amenities of surrounding residential properties from new development in relation to loss of sunlight, dominance and loss of privacy respectively.

The nearest residential properties to the proposed infill extension are the houses on the opposite side of Rickmansworth Road where the nearest residential elevation would be sited some 57m away from the nearest part of the infill extension and would only have an oblique view of the new structure which would be viewed against the backdrop of the existing building. These properties would be separated by the road and belt of woodland planting within the hospital grounds. Although the boundary planting has been thinned recently, additional trees are to be planted along this boundary and a new native hedge has been planted.

As such, the proposals would not result in any loss of sunlight or privacy, nor appear unduly dominant to surrounding residential occupiers in accordance with policy.

Noise issues are dealt with in Section 7.18 below.

7.09 Living conditions for future occupiers

Not applicable to this development.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Policies AM2 and AM7 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) advise respectively that proposals for development will be assessed against their contribution to traffic generation and impact on congestion, having regard to the present and potential capacity of public transport and that the traffic generated by proposed developments would need to be accommodated on principal roads without increasing demand along roads or at junctions already used to capacity, not prejudice the free flow of traffic, nor diminish environmental benefits brought about by other road improvement schemes or infiltrate local roads. Policy AM9 supports cycle provision, including the need for cycle storage provision within development schemes and Policy AM14 advises that

development should accord with adopted car parking standards.

There are no specific car parking standards for hospitals, with development proposals being assessed on an individual basis. The site has a number of car parking areas that are spread round the hospital complex and it is often not clear to visitors whether there are vacant parking spaces available.

On the previous application (9011/APP/2014/3602 refers) which this application would in part supersede in relation to the additional ward provision (with a total of 20 additional bedspaces currently being proposed as compared to 18 on the previous application), a car parking utilisation survey was carried out at the hospital in 2015 which indicated that although the hospital site is served by bus routes, the majority of staff and visitors use cars as a main mode of travel which is to be expected in an area that has very poor public transport accessibility (PTAL 1b). Furthermore, this parking survey found that with over 900 staff and 149 beds on site, there was still spare parking capacity on the site although based on the survey results, car parking space utilisation was forecast to increase from 83% to 90% following the proposed development.

The Highway Engineer on the previous application advised that at such a high car park utilisation level, users of the hospital will experience significant difficulty in locating any unoccupied car parking spaces given that they are spread around the site. Also, the engineer advised that site visits have confirmed that there is extensive use of over spill car parking on grass verges within the site and double parking within some staff car parks and noted that the surveys do not appear to have identified the full extent of such demand / use on site.

In order to address these concerns, committee previously agreed Heads of Terms for a S106 Agreement which would secure a Travel Plan, including a £20,000 bond to encourage the reduction of the use of the private car and implementation of a co-ordinated scheme for the management of on-site and on-street car parking in the area.

The Highway Engineer on this scheme advises that these Heads of Terms are equally applicable to this scheme. In addition, an additional clause is required to ensure that the previously approved ward can not be implemented in addition to the new ward currently proposed.

7.11 Urban design, access and security

URBAN DESIGN

This issue is addressed in Section 7.07 of the report.

ACCESS

This issue is addressed in Section 7.12 of the report.

SECURITY

A condition to require that the development satisfies 'Secure by Design' criteria is not required for this hospital development as it would be constantly staffed.

7.12 Disabled access

The submitted Design and Access Statement advises that as a hospital trust, the applicant

duty bound to ensure that all public and patient areas meet with strict mobility guidelines which takes into account takes into account, for instance, that buildings have been designed and specified to ensure ease of access, provision of WC facilities for all, appropriate signage and interior colour schemes that respect light reflectance values.

7.13 Provision of affordable & special needs housing

Not applicable to this development.

7.14 Trees, Landscaping and Ecology

This application has no implications for tree protection, landscaping or ecology.

7.15 Sustainable waste management

The plans include segregated waste storage facilities for the ward. The management and collection of waste would be a matter for the hospital.

7.16 Renewable energy / Sustainability

An energy assessment has been submitted to support the application which makes various recommendations in terms of the thermal efficiencies which could be employed within the proposed works.

The Council's Sustainability Officer has reviewed the document and raises no objections to the proposals. A condition has been added to ensure that the works are carried out in accordance with the submitted Energy assessment.

7.17 Flooding or Drainage Issues

The submitted Planning Stage Drainage Design Statement advises that the proposed works would not increase the amount of impermeable drained area of the building and therefore would not increase the amount of surface water run-off and the increase in foul drainage would not be significant as compared to existing levels. On this basis, no objections can be raised to the proposals on drainage grounds and there is no need for drainages conditions.

7.18 Noise or Air Quality Issues

Noise

The development proposals are not likely to give rise to a significant increase in noise over and above that generated by the existing hospital. The siting of the new ward on the second floor of the main hospital building does not bring hospital activities any closer to surrounding residential occupiers, the nearest of which are located on the opposite side of Rickmansworth and Hill End Roads and are separated from the hospital by the roads themselves and a belt of woodland planting. A condition to control the noise from plant is included in the officer's recommendation.

Air Quality

The hospital is not situated within an air quality management area, no additional parking is proposed and the small increase in vehicle numbers that could be potentially generated by the increased intensity of use of the existing parking spaces by the additional bed spaces would not give rise to any material air quality concerns.

7.19 Comments on Public Consultations

The comments raised by the individual objector have been dealt with in the officer's report.

7.20 Planning Obligations

Policy R17 of the Council's Unitary Development Plan states that: 'The Local Planning Authority will, where appropriate, seek to supplement the provision of recreation open space, facilities to support arts, cultural and entertainment activities, and other community, social

and education facilities through planning obligations in conjunction with other development proposals'.

A S106 Agreement would be needed to secure the following:-

1. The partial non-implementation of planning permission dated 18/9/15, App. No. 9011/APP/2014/3602 refers for the temporary extension above Acorn Ward to provide a new 18 bed ward with associated access (to be known as Holly ward) and its link to the main hospital block via a new bridge,
2. A Green Travel Plan for the Hospital Trust, to include a £20,000 bond, and
3. a. Prior to the start of construction, the submission of the scope of a study for developing a coordinated scheme for the management of on-site and on-street car parking in the area, to be submitted to and agreed in writing by the Local Planning Authority.
3. b. Prior to occupation, funding and implementation of the coordinated on-site car park management plan and a scheme for management of on-street car parking in the area, as agreed with the Council.

The proposal is not Mayoral or Council CIL liable.

7.21 Expediency of enforcement action

No enforcement issues are raised by the site or this application.

7.22 Other Issues

No other planning issues are raised by this application.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act

1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

This scheme represents an alternative permanent proposal to provide a new ward with 20 additional bed spaces as compared to the approved scheme (9011/APP/2015/3206 refers) which accommodated the ward within a new modular building with 18 additional bed spaces which only provided a temporary solution to the demand for more bed space at the hospital

The scheme would provide the additional ward on the top floor of the eastern wing of the main hospital building by re-locating the existing administrative offices to redundant buildings, with additional internal floor area created by extending onto the balcony. The scheme, which would use a glazed curtain wall set back from the retained and restored balustrade would provide a more appropriate design that would respect the original open character of the balconies than the simple bricking-up that has occurred on all the other balconies.

There would be no green belt objections to such a scheme and as the need for a Travel Plan and a co-ordinated scheme for the management of on-site and on-street car parking in the area was previously dealt with by a S106 Agreement, the same Heads of Terms would be required in a Deed of Variation/new S106 Agreement to assist with the alleviation of the on-street parking that occurs around the hospital. A further Heads of Term is required to ensure that the ward building, previously approved is not implemented in addition to this proposal.

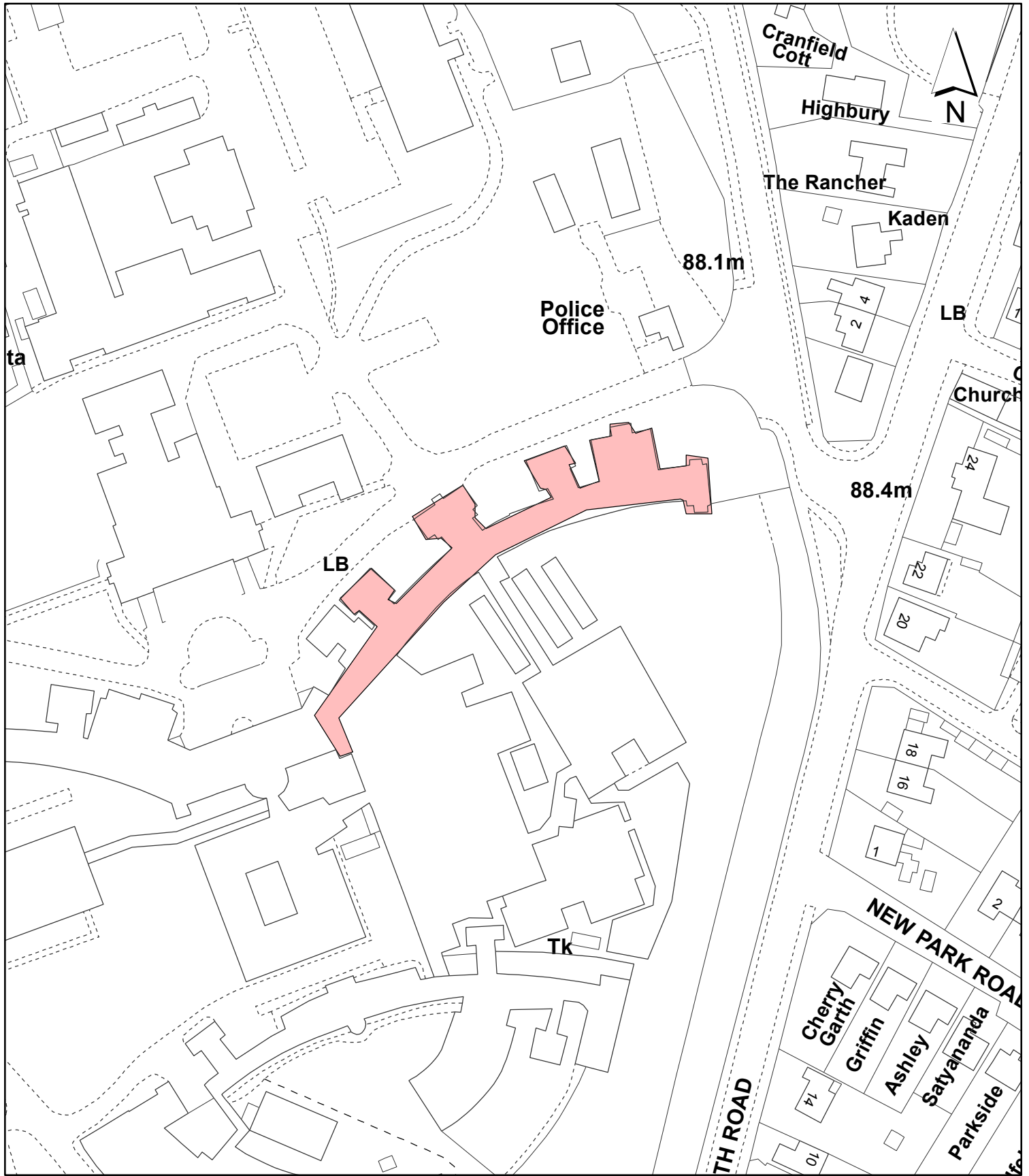
The application is recommended for approval.

11. Reference Documents

National Planning Policy Framework (March 2012)
London Plan (March 2016)
Hillingdon Local Plan (November 2012)
HDAS: 'Accessible Hillingdon'
Consultation responses

Contact Officer: Richard Phillips

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

Harefield Hospital

LONDON BOROUGH OF HILLINGDON

Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

9011/APP/2016/1862

Scale:

1:1,250

Planning Committee:

North Page 47

Date:

July 2016



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address DOUAY MARTYRS SCHOOL, CARDINAL HUME CAMPUS 86 LONG LANE
ICKENHAM

Development: Replacement of existing school boundary fence with new 1.8m high metal fencing and gates and creation of new tarmacadam pathway to the main reception.

LBH Ref Nos: 6683/APP/2016/1226

Drawing Nos: 5508/2002 Rev.P/1 (Boundary Improvement Project)
Landscape Management and Maintenance Plan, prepared by DHI

Date Plans Received: 24/03/2016 **Date(s) of Amendment(s):** 22/06/2016

Date Application Valid: 24/03/2016

1. **SUMMARY**

This application seeks full planning permission for the provision of replacement boundary fencing, a pedestrian footpath and new planting at Douay Martyrs School's Cardinal Humes Campus in Ickenham.

The applicant has advised that the replacement fencing is required to increase school security. Following negotiation with the applicant and to overcome officer concerns regarding visual impact amended plans were received which showed a reduction in the height of the originally proposed fencing from 2.4m to 1.8m and which also included the provision of hedge planting to assist in softening the visual impact of the fence.

It is considered that the boundary treatment now proposed strikes an acceptable balance between the need for increased security and the need to protect the visual amenities of the school site and surrounding Ickenham Village Conservation Area. The development is therefore considered to be visually acceptable in this location.

The proposal complies with current local, London Plan and national planning policies and, accordingly, approval is recommended.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, number 5508/2002 Rev.P/1, and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2015).

3 COM5 General compliance with supporting documentation

The development hereby permitted shall be completed in accordance with the following specified supporting plans and/or documents:

Landscape Management and Maintenance Plan, prepared by DHP

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence

REASON

To ensure that the development complies with the objectives of Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

4 COM10 Tree to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' Remedial work should be carried out to BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
AM7	Consideration of traffic generated by proposed developments.
LPP 7.4	(2015) Local character
LPP 7.8	(2015) Heritage assets and archaeology

3 I1 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 I2 **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

5 I15 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit

(www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

6 124 Works affecting the Public Highway - General

A licence must be obtained from the Highway Authority before any works are carried out on any footway, carriageway, verge or other land forming part of the public highway. This includes the erection of temporary scaffolding, hoarding or other apparatus in connection with the development for which planning permission is hereby granted. For further information and advice contact: - Highways Maintenance Operations, 4W/07, Civic Centre, Uxbridge, UB8 1UW

7 132 Trees in a Conservation Area

As the application site is within a conservation area, not less than 6 weeks notice must be given to the Local Planning Authority of any intention to cut down, top, lop or uproot or otherwise damage or destroy any trees on the application site. Please contact the Trees & Landscape Officer, Residents Services, 3N/02, Civic Centre, Uxbridge, UB8 1UW for further advice.

8 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

9

The Metropolitan Police Designing Out Crime Officer has provided the following recommendations:

1. An encrypted access control system for the vehicle and pedestrian gates, working with the school's operational requirements, should be provided. Maglocks or a similar electronic keep system, controlled from the reception area, viewable by a CCTV / Intercom system which allows identification of persons visiting inside school hours is recommended.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises The Douay Martyrs School Cardinal Humes Campus, which is located on the west side of Long Lane in Ickenham.

The site accommodates a number of single-storey buildings, including the early 20th Century single-storey red brick main building, which is characterised by its steeply pitched

tiled roof. It also accommodates playgrounds, car parking and associated facilities.

The school falls within a predominantly residential area and is immediately bounded by residential properties to the north, west and south. It has a long frontage to Long Lane to the east, which is currently characterised by approximately 1.2m high close boarded fence. Residential properties are located opposite.

The application site falls within the Ickenham Village Conservation Area as designated in the Hillingdon Local Plan. The main school building is locally listed. Long Lane is designated as a Local Distributor Road.

3.2 Proposed Scheme

This application seeks full planning permission for the erection of 1.8m high black Barbican Imperial fencing and gates along the school's front boundary and 1.8m high black Euroguard weldmesh fencing along a part of the school's north and south boundaries.

Planting would be provided alongside the fenceline fronting Long Lane in order to soften its visual appearance.

A new pedestrian footpath would be provided within the site to provide direct access from the street to the front entrance.

3.3 Relevant Planning History

Comment on Relevant Planning History

None relevant.

4. Planning Policies and Standards

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)
Policy Statement - Planning for Schools Development (DCLG, 15/08/11)
London Plan (2015)
National Planning Policy Framework
Hillingdon Supplementary Planning Document: Accessible Hillingdon

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

BE4 New development within or on the fringes of conservation areas

BE10 Proposals detrimental to the setting of a listed building

BE13 New development must harmonise with the existing street scene.

BE19 New development must improve or complement the character of the area.

BE38 Retention of topographical and landscape features and provision of new planting

	and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
AM7	Consideration of traffic generated by proposed developments.
LPP 7.4	(2015) Local character
LPP 7.8	(2015) Heritage assets and archaeology

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **18th May 2016**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 26 local owner/occupiers and the Ickenham Residents' Association. Site and press notices were also posted. Two letters of objection have been received which raise the following concerns:

- i) The fencing will be out of keeping with the local area and make the site look like a prison.
- ii) Green fencing would be more appropriate
- iii) Additional pollution and danger caused by traffic waiting to access/egress the site on the bend in the road right opposite residential properties.

A local Ward Councillor has requested that this application is determined by the planning committee.

METROPOLITAN POLICE

An encrypted access control system for the vehicle and pedestrian gates, working with the school's operational requirements, should be provided. Maglocks or a similar electronic keep system, controlled from the reception area, viewable by CCTV / Intercom system which allows identification of persons visiting inside school hours is recommended.

With regard to the fence, a suitably tested fence installed to security standard LPS 1175:SR1, should be provided. A robust welded mesh fence is most suitable, this is so as to ensure the safeguarding of the children.

Internal Consultees

CONSERVATION AND URBAN DESIGN OFFICER

The proposed fencing would still be considered visually intrusive on the street scene and detract from the character and appearance of the Conservation Area. However, it is considered that an acceptable compromise could be met.

Although the revised proposal incorporates a reduction in the height of the fencing, retention of the existing close boarded fencing along the side boundaries and addition of soft landscaping (hedging) directly along the site's front boundaries, the following amendments relating to the fencing finish are required for the scheme to be considered acceptable.

The proposed Barbican Imperial 1.8m fencing along the site boundary would need to be amended to include:

1. Round vertical pales, capped with domed pale caps rather than angled
2. Posts should ideally be solid and capped at the top

These design finishes will ensure the fencing remains in keeping with the residential character of the surrounding area.

Officer comment: Amended plans have been received which show that these recommendations have been incorporated into the design.

TREES/LANDSCAPE OFFICER

- There are a number of trees along the site frontage which are protected by virtue of their location within the Ickenham Village Conservation Area.
- The replacement of 1200mm high close board timber fencing with 2.4metre high steel railings will be out of character in this Conservation Area where residential front boundaries tend to be lower and / or softer in appearance.
- It is not known what the perceived risk is at this site but an 1800mm high blunt-topped railing is above average eye level and would be very difficult to climb.
- In order to enhance the security - and privacy - a lower railing height could be specified, re-inforced with hedge planting on the inside. This would make the boundary even more difficult to climb and provide a soft visual screen.
- No trees or other landscape features of merit should be affected by the proposal, provided that care is taken during the installation process and pre-emptive pruning is carried out to tree limbs which may conflict with the new fence line.

Recommendations:

The specification should be reviewed - and amended - to ensure that the proposals preserve and enhance the character and local distinctiveness of the surrounding natural and built environment.

Officer comment: Amended plans have been received which show a reduction in the height of the fencing to 1.8m and incorporate hedge planting as per these recommendations.

HIGHWAY ENGINEER

All fences around vehicular accesses are see through and there are no visibility/sight line concerns. No objections are raised on highway grounds.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application seeks the provision of replacement fencing to an existing school site. No objections are therefore raised to the principle of the development subject to the proposals meeting site specific criteria. The impact of the development on the visual amenities of the Ickenham Village Conservation Area will be a particularly important consideration.

7.02 Density of the proposed development

Not applicable to this type of development.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site falls within Ickenham Village Conservation Area. Furthermore, the main school building is locally listed. Local Plan policy BE4 seeks to safeguard the visual amenity of Conservation Areas. Policy BE10 seeks to resist development which would be detrimental to the setting of a listed building.

As originally proposed, at 2.4m in height, the proposed fencing was considered to be visually unacceptable in this location. However, following concerns raised by officers amended plans have been provided which show a reduction in the height of the fencing to 1.8m. Furthermore, the plans confirm that the fencing along the main frontage will comprise round vertical pales, capped with domed pale caps and that the posts will be solid and capped at the top, as per the Conservation and Urban Design Officer's recommendations. Soft landscaping in the form of laurel hedging would also be provided to further enhance the visual amenities of the site. Along the north and south boundaries the existing wooden fencing would be retained alongside the proposed new weldmesh fence to assist in softening the visual impact here.

The amended plans fully take on board and address concerns originally raised by the Council's Conservation and Urban Design Officer and the Council's Trees/Landscape Officer.

It is considered that the proposals achieve an acceptable compromise between increasing the security of the site whilst being sensitive to the visual amenities of the surrounding area such that the development is considered to comply with relevant policy objectives.

7.04 Airport safeguarding

Not applicable. There is no requirement to consult the aerodrome safeguarding authorities on this application.

7.05 Impact on the green belt

Not applicable. There is no green belt land within the vicinity of the application site.

7.07 Impact on the character & appearance of the area

This matter has been largely addressed in part 7.03 of the report. Whilst the fencing would be clearly visible from Long Lane it is considered that the proposals would achieve an acceptable compromise between increasing the security of the site whilst being sensitive to the visual amenities of the surrounding area such that the development is considered to comply with relevant planning policies which seek to safeguard visual amenity.

7.08 Impact on neighbours

The proposed fencing would form part of the school's north and south boundaries, which are immediately adjoined by residential properties. Nevertheless, existing vegetation would provide screening to the fencing and at 1.8m high it is not considered that this would have an unacceptable impact on residential amenity. Notably, no objections have been received from the immediate neighbours to the north or south.

Whilst the fencing would be visible to properties located over 25m away opposite, some of which have raised objections, given this distance and the separation provided by Long Lane, it is not considered that the development would have such a negative impact on their outlook that it would result in any significant loss of residential amenity.

Overall, the development is considered to comply with the objectives of Local Plan policy BE18, which seeks to safeguard residential amenity.

7.09 Living conditions for future occupiers

Not applicable to this type of development.

7.10 Traffic impact, car/cycle parking, pedestrian safety

There would be no additional traffic to/from the site as a result of the development. Furthermore, no alterations are proposed to the existing car parking arrangements.

A new pedestrian access would be created from Long Lane and alterations would be made to the existing vehicular accesses to increase security through the installation of an access control system. It is not considered that this would have any detrimental impact on the highway and, notably, the Council's Highway Engineer has raised no objections. Accordingly, the development is considered to comply with Local Plan policy AM7, which seeks to safeguard highway and pedestrian safety.

7.11 Urban design, access and security

Issues relating to urban design have been addressed in part 7.03 of this report.

With regard to security, the applicant has advised that the new fencing is required to enhance security to the school site in accordance with Secure by Design criteria. The Metropolitan Police have advised that no objections are raised to the current proposals. They have however verbally advised that fencing lower than 1.8m could not be supported. Informatives would be added to pass on advice from the police regarding the proposed access control system.

Whilst their recommendation for weldmesh fencing to be provided is noted, it is not considered that this would be in keeping with the character or appearance of the Conservation Area if it were to be provided along the Long Lane frontage. The proposed railing type fencing is considered to be a visually acceptable compromise.

7.12 Disabled access

Not applicable. The development proposals would have no impact on disabled access to/from the site.

7.13 Provision of affordable & special needs housing

Not applicable to this type of development.

7.14 Trees, Landscaping and Ecology

No trees or landscape features of merit would be affected by the proposals.

Further to requests from officers, amended plans have been received which show that laurel hedging would be provided along the fenceline to assist in softening its visual impact.

Whilst residents' requests for green fencing are noted, the Council's Trees/Landscape Officer has advised that the black proposed will better blend with foliage as it grows, assisting in reducing its overall visual impact. Accordingly, the provision of black fencing is considered to be acceptable in this instance.

The amended plans are considered to address the Trees/Landscape Officer's initial comments such that the development is now considered to comply with policies BE4, BE10, BE13 and BE38 of the Local Plan, which all seek to safeguard visual amenity.

7.15 Sustainable waste management

Not applicable to this type of development.

7.16 Renewable energy / Sustainability

Not applicable to this type of development.

7.17 Flooding or Drainage Issues

Not applicable. The development does not fall within a flood zone and the fencing would not result in any increased flood risk.

7.18 Noise or Air Quality Issues

Not applicable to this type of development.

7.19 Comments on Public Consultations

The concerns raised by residents have been addressed in the body of the report.

7.20 Planning Obligations

Not applicable to this type of development.

7.21 Expediency of enforcement action

None.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of

opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

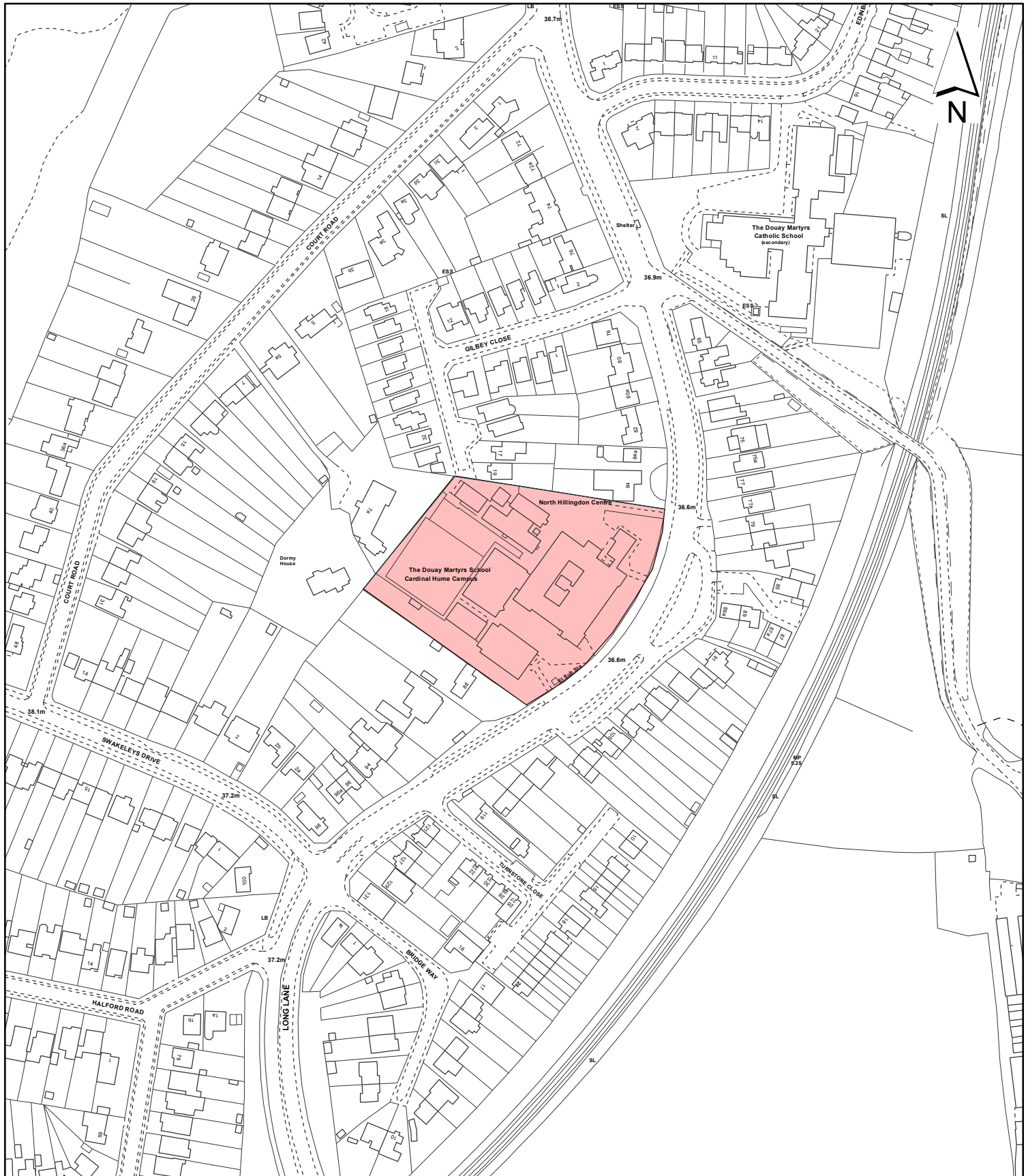
Following the receipt of amended plans, it is considered that the fencing proposed strikes an acceptable balance between meeting the schools security needs whilst providing a visually acceptable form of development. The proposal would not result in any adverse impacts to pedestrian or highway safety and raises no other issues of concern. The development is considered to comply with relevant local Plan, London Plan and national planning policies and, accordingly, approval is recommended.

11. Reference Documents

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)
Policy Statement - Planning for Schools Development (DCLG, 15/08/11)
London Plan (2015)
National Planning Policy Framework
Hillingdon Supplementary Planning Document: Accessible Hillingdon

Contact Officer: Johanna Hart

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

Douay Martyrs School

Planning Application Ref:

6683/APP/2016/1226

Planning Committee:

North Page 60

Scale:

1:2,500

Date:

July 2016

LONDON BOROUGH OF HILLINGDON

Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning and Enforcement

S.106/278 PLANNING AGREEMENTS - QUARTERLY FINANCIAL MONITORING REPORT

SUMMARY

This report provides financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2016 where the Council has received and holds funds.

RECOMMENDATION

That Members note the contents of this report.

INFORMATION

1. Paragraph 24 of the Government's Planning Practice Guidance, encourages local planning authorities to make publically available information with regard to what planning obligation contributions are received by the Council and how these contributions are used. This ensures transparency and is therefore considered to be good practice. Details of the financial obligations held by the Council are reported to Cabinet on a quarterly basis through the "Planning Obligations Financial Monitoring Report". The report informs members and the public of the progress being made in the allocation of financial obligations and their implementation.
2. The information contained in this report was reported to Cabinet on 23 June 2016 and updates the information received by Cabinet in March 2016. The attached Appendix 1 provides updated financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2016, where the Council has received and holds funds.
3. Appendix 1 shows the movement of income and expenditure taking place during the financial year. The agreements are listed under Cabinet portfolio headings. Text that is highlighted in bold indicates key changes since the previous report of April 2016 to the Planning Committee. Figures shown in bold under the column headed 'Total income as at 31/03/16' indicate new income received. Agreements asterisked under the column headed 'case ref' are those where the Council holds funds but is unable to spend them for a number of reasons. These include cases where the funds are held as a returnable security deposit for works to be undertaken by the developer and those where the expenditure is dependant on other bodies such as transport operators. In cases where schemes have been completed and residual balances refunded, the refund amount is either the amount listed in the "Balance of Funds" column or where the

amount listed in this column is zero the difference between the amounts listed in the columns titled "Total Income as at 31/12/15" and "Total Income as at 31/03/16".

4. Members should note that in the Appendix, the 'balances of funds' held include funds that may already be committed for projects such as affordable housing and school expansion projects. Expenditure must be in accordance with the legal parameters of the individual agreements and must also serve a planning purpose and operate in accordance with legislation and Government guidance in the form of the National Planning Policy Framework (March 2012). The Council has adopted Supplementary Planning Guidance for Planning Obligations that provides the framework in which the Council will operate.
5. Members should also note that the listed "balances of funds", i.e. the difference between income received and expenditure, is not a surplus. A majority of the funds is linked to projects that are already underway or programmed but have not been drawn down against the relevant s106 (or s.278) cost centre. The column labelled "balance spendable not allocated" shows the residual balance of funds after taking into account funds that the Council is unable to spend and those that it has committed to projects.

Financial implications

6. This report provides information on the financial status on s106 and s278 agreements up to 31 March 2016. The recommendation to note has no financial implications.

CORPORATE CONSULTATIONS CARRIED OUT

Legal

It is a requirement of the District Audit report into planning obligations and the Monitoring Officers report that regular financial statements are prepared.

EXTERNAL CONSULTATIONS CARRIED OUT

There are no external consultations required on the contents of this report.

BACKGROUND DOCUMENTS

District Auditor's "The Management of Planning Obligations" Action Plan May 1999
Monitoring Officers Report January 2001
Planning Obligations Supplementary Planning Document Adopted July 2008 and revised 2014.
Cabinet Report June 2016.

Contact Officer: Nikki Wyatt

Telephone No: 01895 - 2508145

**North Planning Committee - 14th July 2016
PART 1 - MEMBERS, PUBLIC & PRESS**

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
			AS AT 31/03/16	AS AT 31/12/15	AS AT 31/03/16	To 31/03/16	AS AT 31/03/16	AS AT 31/03/16	
SECTION 278									
PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING									
PT/278/481/35 *32	Northwood	10A Sandy Lodge Way, Northwood 54871/APP/2002/04	7,458.07	2,458.00	2,458.00	0.00	5,000.07	0.00	Improvement of visibility for junction of Sandy Lodge Way & Woodridge Way. ECU fees have been claimed and £5,000 security remains. Works substantially complete 12 month maintenance period, ended 16 September 2006. Final certificate has been prepared. Security held to part offset outstanding education contribution which is being sought via legal proceedings.
PT/278/631/75A *49	South Ruislip	BFFO, R.A.F Northolt 189/APP/2006/2091	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5k received as the security deposit for the due and proper implementation of junction works at the White House Gate entrance to the development. Signals complete and in operation. Currently within 12 month maintenance period. Date of final completion to be confirmed.
PT/278/64/173	Eastcote & East Ruislip	R.A.F. Eastcote 10189/APP/2004/1781	19,200.00	12,201.13	12,201.13	0.00	6,998.87	0.00	Engineers fees paid prior to the execution of an agreement to secure access works associated with this application. Waiting restriction in Lime Grove undertaken. Elm Ave/Lime Grove junction improvement pending. Elm Ave Pedestrian crossing technical approval pending (£5,500) design fees received plus further £6,700 for temporary footpath works carried out by LBH. £7,500 engineering fees claimed. Funds spent towards temporary footpath works. Further £5,000 security deposit for proper execution of highway works.
PT/278/72/231A *66	West Ruislip	R.A.F West Ruislip (Ickenham Park) Design check on S278 Designs 38402/APP/2007/1072	53,986.57	45,486.57	45,486.57	0.00	8,500.00	0.00	Fees received for design checks. Pelican crossing and signals on Long Lane, S278 agreement and technical approval pending. Further £18,000 returnable deposit received to ensure reinstatement of temporary crossover on Alysham Drive. Further fees received towards inspection fees and traffic orders. Spend towards fees & inspection. Works completed, deposit returned.
PT/278/73	South Ruislip	R.A.F Northolt., South Ruislip/Main Gate 168/APP/2007/1321	2,000.00	0.00	0.00	0.00	2,000.00	0.00	Fees received for design checks. Junction improvements at West End Road/ Bridgewater Road, S278 agreement and technical approval pending.
PT/278/77/1197 *62	Ruislip Manor	Windmill Hill Public House, Pembroke Road, Ruislip 11924/APP/2632	24,000.00	1,000.00	1,000.00	0.00	23,000.00	0.00	Fees received for design checks (£1,000). £23,000 received as a security deposit to ensure works are carried out to a satisfactory standard. £1,000 engineering fees claimed.
PT/278/78/238G *76	West Ruislip	Fmr Mill Works, Bury Street, Ruislip 6157/APP/2009/2069	19,782.00	14,782.00	14,782.00	0.00	5,000.00	0.00	Fees received for design checks and monitoring & supervision. £5,000 received as a security deposit to ensure highway works are carried out to a satisfactory standard. Fees claimed for design checks & monitoring (£14,782).
PT/278/66/237E Eastcote & East Ruislip		Bishop Ramsey School (lower site), Eastcote Road, Ruislip - High Grove access 19731/APP/2006/1442	14,146.46	10,729.21	10,729.21	0.00	3,417.25	0.00	Funds received for the completion of remedial highway works and fees associated with the 278 agreements. £7,993.58 claimed towards remedial works & fees 13/14. Further £307.63 claimed.
PT/278/89/349 *115	Herefield	West London Composting, New Years Green Lane, Herefield.	106,884.18	0.00	0.00	0.00	106,884.18	0.00	Funds received as a returnable bond to ensure the satisfactory completion of the highway works associated with the development.
PT/278/105/350C *122	South Ruislip	Fmr Aria Dairy Site, Victoria Rd, Ruislip. 66819/APP/2014/1600	951,810.00	73,310.00	0.00	73,310.00	878,500.00	0.00	£5,000 received as a returnable deposit and £871, 000 received as a bond deposit for the completion of highway works. Funds to be returned with interest on satisfactory completion of the works. Further £73,310 received and claimed by ECU for fees and checks. £2,500 to be used for payment of traffic orders.
SECTION 278 SUB - TOTAL			1,204,267.28	159,966.91	86,656.91	73,310.00	1,044,300.37	0.00	
SECTION 106									
PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING									

FINANCIAL UPDATE ON SECTION 106 AND 278 AGREEMENTS AT 31 March 2016 (North)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
			AS AT 31/03/16 37,425.09	AS AT 31/03/16 0.00	AS AT 31/12/15 0.00	To 31/03/16 0.00	AS AT 31/03/16 37,425.09	AS AT 31/03/16 0.00	
PT/25/56 *24	South Ruislip	J Sainsbury, 11 Long Drive, Ruislip 336677/197/0684	35,253.56	28,119.15	28,119.15	0.00	7,134.41	0.00	Highway improvements adjacent to the site. Legal advice stated that because of time that has elapsed, it would not be reasonable to proceed without Sainsbury's agreement. Officers investigating the potential to utilise these funds for traffic congestion mitigation at that junction to complement current works that have been commissioned for that location. A portion of land owned by Sainsbury's would need to be dedicated as public highway for the scheme to be feasible. Traffic congestion mitigation scheme is fully funded. Officers investigating whether improvements could be tied into T14 bus route project. Excess funds are to be returned to the developer following the date of the Final Account.
PT/76/119	Northwood	Land at 64 Ducks Hill Road Northwood/ 26900L/99/1077	35,253.56	28,119.15	28,119.15	0.00	7,134.41	0.00	To provide a speed camera, anti-skid surface and associated road markings in Ducks Hill Road. Speed camera cannot be installed in this location, as the accident rate in this location is below the threshold established by TfL. Deed of variation not required site included in vehicle activated sign (VAS) forward programme. Officers looking into feasibility of 'Driver Feedback Sign'. Implementation due Spring 2007, subject to purchase of signs. Interest accrued. No time constraints. Utilities works completed Nov 08. Scheme programmed for implementation April/May 2010. Spend towards the provision of anti skid and electrical work. VAS signs installed, scheme complete, awaiting invoices.
PT/117/231B	West Ruislip	Former RAF West Ruislip (Ickenham Park), High Road, Ickenham. 38402/APP/2007/1072	30,000.00	29,981.05	26,450.03	26,738.45	38.95	0.00	Funds received towards improvements to cycle route 88 network 93 as part of the London Cycle Network. Funds to be spent within 5 years of receipt (Nov 2015). Funds allocated towards improved provision for cyclists in Ickenham High Road (Cabinet Member Decision 29/1/15). Scheme complete, outstanding invoices paid. Scheme closed.
PT/127/238H	West Ruislip	Fmr Mill Works, Bury St, Ruislip. 6167/APP/2009/2068	34,603.50	34,603.50	0.00	34,603.50	0.00	0.00	Contribution received towards carbon reduction projects in the Ruislip area. Earmarked towards projects to reduce CO2 emissions at Ruislip Early Years Centre. Funds to be spent within 7 years of receipt (Apr 2019). Funds spent towards Compass Theatre scheme as part of end of year financing, subject to Cabinet Member approval.
PT/143/323A	Cavendish	150 Field End Road, (initial House), Eastcote, Pinner 25760/APP/2013/3632	20,000.00	0.00	0.00	0.00	20,000.00	20,000.00	Contribution received towards improving town centre facilities in the Authority's Area. No time limits for spend.
PT/148/327 *105	Northwood Hills	Northwood School, Potter Street, Northwood. 12850/APP/2013/1810	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Contribution received as the travel plan bond to ensure compliance by the owner to its monitoring and reporting obligations. Funds to be returned at the end of the monitoring period (2024).
PT/154/350A	South Ruislip	Fmr Aria Dairy Site, Victoria Rd, Ruislip. 66819/APP/2014/1600	135,000.00	0.00	0.00	0.00	135,000.00	135,000.00	Contribution towards the provision of public transport infrastructure improvements and related initiatives in the authority's area including bus priority measures/improvements to bus services and cycle provision (see legal agreement for details). Funds to be spent within 7 years of receipt (Sept 2022).
		PLANNING TRANSPORTATION & RECYCLING SUB - TOTAL	312,282.15	92,683.70	54,569.18	61,341.95	219,588.45	155,000.00	
		PLANNING TRANSPORTATION & RECYCLING TOTAL	1,516,549.43	252,659.61	141,225.09	134,651.95	1,263,898.82	155,000.00	
PORTFOLIO: EDUCATION AND CHILDREN'S SERVICES									

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
EYL/110/205C	Eastcote	RAF Eastcote, Lime Grove, Ruislip, 10189/APP/2004/1781	AS AT 31/03/16 3,755,319.11	AS AT 31/12/15 3,755,319.11	AS AT 31/03/16 3,755,319.11	AS AT 31/12/15 3,066,954.11	To 31/03/16 688,365.00	AS AT 31/03/16 0.00	AS AT 31/03/16 0.00	A total of £3,755,319 received in three instalments towards the cost of providing nursery, primary or secondary education places or improvements in the North Secondary Planning Area. Funds to be spent by September 2016. £688,365 has been allocated and spent towards expansion at Ruislip High School (Cabinet Member Decision 21/10/2010) and £342,000 towards Deansfield Early Years Centre (Cabinet Member Decision 28/10/2010). A further £719,000 has been allocated and spent towards the expansion of Herlyn Primary School and £688,496.96 allocated and spent towards Field End Primary School as part of Phase 2 of the Primary Expansion Programme (Cabinet Member Decision 19/3/13). £414,115.99 not used in financing 2013/14. Reallocated and spent towards Herlyn Primary School (Cabinet Member Decision 19/03/2015). Remaining funds allocated and spent towards Northwood School (Cabinet Member Decision 29/03/2016). Funds received towards the costs of providing primary education places to primary schools in Primary Area 3. Funds to be spent by February 2016. Contribution allocated and spent towards improvements at White Heath Primary School (retrospective), Cabinet Member Decision 29/01/2016).
EYL/137/237B	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip, 19731/APP/2006/1442	426,346.97	426,346.97	426,346.97	0.00	426,346.97	0.00	0.00	Funds received as 50% of the education contribution towards the cost of providing nursery, primary and secondary facilities in the Borough (See legal agreement). Funds to be spent by February 2018. Further £261,446.35 received as remaining 50% education contribution. £112,742 allocated and spent towards expansion at Ruislip Gardens Primary School as part of Phase 2 of the Primary Expansion Programme (Cabinet Member Decision 19/3/2013). Further £185,696 allocated and spent towards expansion at Ruislip Gardens Primary School (Cabinet Member Decision 24/01/2014). Remaining funds allocated and spent towards Northwood School as part of the Council's Secondary School Expansion Programme (Cabinet member Decision 29/03/2016).
EYL/138/238C	West Ruislip	Former Mill Works, Bury Street, Ruislip, 6157/APP/2009/2069	512,742.69	512,742.69	512,742.69	288,439.38	214,303.31	0.00	0.00	Contribution received towards providing educational improvements on facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details). Funds to be spent within 5 years of receipt. (Feb 2019).
EYL/203/520	Northwood	15 Nicholas Way, Northwood 16624/APP/2012/3220	12,796.00	12,796.00	0.00	0.00	12,796.00	12,796.00	12,796.00	Contribution received to be used by the Council towards providing education; educational improvements or facilities, in the Authority's area to include new school facilities; improvements to existing school facilities; extra children; improvement and expansion of playground and external leisure spaces (see agreement for details). No time limits for spend.
EYL/206/558	Northwood	Land forming part of Oakhurst, Norridge, Northwood, 6712/APP/2011/2112	13,391.12	13,391.12	0.00	0.00	13,391.12	13,391.12	13,391.12	Fund received towards the provision of educational facilities within the London Borough of Hillingdon. No time limits for spend. Funds allocated towards expansion at Harefield Primary School as part of the Primary Expansion Programme (Cabinet Member Decision 19/03/2016). £17,869.51 spent 2014/15.
EYL/211/530	Harefield	Little Hammonds, Breakspear Rd North, Harefield	33,436.00	33,436.00	17,869.51	17,869.51	0.00	15,566.49	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary school child yield arising from the development. No time limits for spend. Funds allocated and spent towards Ruislip Gardens Primary School scheme, as part of the Council's Primary Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL/216/535	West Ruislip	157-161 High Street, Ruislip 64711/APP/2011/214	2,176.00	2,176.00	2,176.00	0.00	2,176.00	0.00	0.00	

FINANCIAL UPDATE ON SECTION 106 AND 278 AGREEMENTS AT 31 March 2016 (North)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015/2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
EYL217336	Northwood	Land Adj to 27 Lees Ave, Northwood 69196/APP/2013/1310	AS AT 31/03/16 25,593.00	AS AT 31/12/15 25,593.00	AS AT 31/03/16 25,593.00	To 31/03/16 25,593.00	AS AT 31/03/16 0.00	AS AT 31/03/16 0.00	AS AT 31/03/16 0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards Abbotsfield School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL218337	Northwood	37 Moor Park Road, Northwood 4581/APP/2013/3765	12,796.00	12,796.00	12,796.00	12,796.00	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards Northwood School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL221341	Northwood	Plumtree Cottage, 69 Ducks Hill Road, Northwood 4730554/APP/2014/3278	2,265.00	2,265.00	2,265.00	2,265.00	0.00	0.00	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery and primary yield arising from the development. No time limits. Funds allocated and spent towards Northwood School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL222342	Northwood	London School of Theology, Green Lane, Northwood 10112/APP/2013/1837	29,834.07	29,834.07	29,834.07	29,834.07	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards Northwood School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL224343	Harefield	Royal Quay, Coppermill Lock, Harefield 43159/APP/2013/1094	75,649.88	75,649.88	75,649.88	75,649.88	0.00	0.00	0.00	Funds received towards the costs of providing nursery, secondary and post 16 year old education or improvements or facilities in the authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvement and expansion of playground and external leisure spaces (see agreement for details); No time limit for spend. £45,389.88 allocated and spent towards Northwood School and £30,260 allocated and spent towards Giebo Primary School project as part of the Council's Primary and Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL226346A	Northwood	42-46 Ducks Hill Road, Northwood 49987/APP/2013/1451	128,490.42	128,490.42	128,490.42	128,490.42	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards Northwood School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL226351A	Northwood	103,105 & 107 Ducks Hill Road, Northwood. 64345/APP/2014/1044	29,531.00	29,531.00	29,531.00	29,531.00	0.00	0.00	0.00	Contribution received towards providing education, educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards Northwood School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).
EYL229353	West Ruilip	28 Withy Lane, Ruilip. 6885/APP/2014/987	5,081.00	5,081.00	5,081.00	5,081.00	0.00	0.00	0.00	Contribution received towards providing education, educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards Northfield School as part of the Council's Secondary School Expansion Programme (Cabinet Member Decision 29/03/2016).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015/16 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
			AS AT 31/03/16 20,041.43	AS AT 31/03/16 20,041.43	AS AT 31/03/16 0.00	AS AT 31/03/16 0.00	AS AT 31/03/16 0.00	AS AT 31/03/16 20,041.43	AS AT 31/03/16 20,041.43	
EYL232/357	Ickenhams	66 Long Lane, Ickenhams 20543/APP/2012/2848	0.00	0.00	0.00	0.00	0.00	0.00	0.00	Contribution received to be used by the Council towards providing education; educational improvements or facilities, in the Authority's area to include new school facilities, improvements to existing school facilities to accommodate extra children; improvement and expansion of playground and external leisure spaces (see agreement for details). No time limits for spend.
EYL234/375	South Ruislip	35 Edwards Ave, Ruislip. 35883/APP/2012/864	16,138.00	0.00	0.00	0.00	0.00	16,138.00	16,138.00	Contribution received towards additional or improved education facilities within a 3 mile radius of the site to accommodate nursery, primary and secondary school child yield arising from the proposal. No time limit for spend.
EYL235/376	West Ruislip	16-18 Kingsend, Ruislip 63221/APP/2012/878	2,224.00	0.00	0.00	0.00	0.00	2,224.00	2,224.00	Funds received towards the cost of providing educational places within the London Borough of Hillingdon. No time limit on spend.
EYL236/377	Northwood	Littlehurst, Northgate, Northwood. 31866/APP/2013/3686	12,796.00	0.00	0.00	0.00	0.00	12,796.00	12,796.00	Contribution received to be used by the Council towards providing education; educational improvements or facilities, in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvement and expansion of playground and external leisure spaces (see agreement for details). No time limits for spend.
		EDUCATION, YOUTH AND LEISURE SUB - TOTAL	5,116,647.69	5,023,694.65	3,383,263.00	1,640,431.65	92,953.04	77,386.55		
PORTFOLIO: COMMUNITY, COMMERCE AND REGENERATION										
PPR/57/238D	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2008/2069	20,679.21	0.00	0.00	0.00	0.00	20,679.21	0.00	Contribution towards construction training initiatives within the Borough. Funds to be spent within 7 years of receipt (February 2018). Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/2/13).
PPR/68/239C	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	9,667.50	0.00	0.00	0.00	0.00	9,667.50	0.00	Contribution received towards construction training and the provision of a work place co-ordinator within the Borough. No time limits. Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/2/13).
PPR/62/231C	Ruislip	Former RAF West Ruislip (Ickenham Park), High Road, Ickenham. 38402/APP/2007/1072	75,000.00	0.00	0.00	0.00	0.00	75,000.00	0.00	Funds received towards the installation of 3 CCTV cameras and associated infrastructure within the vicinity of the development. Funds to be spent within 5 years of receipt (Nov 2015). Funds transferred from P7/18/231C. Original scheme not viable and time limit has now expired. Officers in negotiation with developer for an alternative scheme. Request for DOV has been declined by the developer. Contribution to be returned.
PPR/65/263C	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67080/APP/2010/1419	9,782.64	0.00	0.00	0.00	0.00	9,782.64	0.00	Funds received towards the provision of construction training courses delivered by recognised providers and the provision of a construction work placement coordinator within Hillingdon. No time limits. Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/2/13).
PPR/76/282C	West Ruislip	Lyon Court 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	47,950.86	0.00	0.00	0.00	0.00	47,950.86	47,950.86	Contribution to be used towards construction training courses delivered by recognised providers and the provision of a work place co-ordinator within the authority's area. Funds to be spent within 5 years of completion of the development (estimated to be 2019).
PPR/77/282D	West Ruislip	Lyon Court, 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	25,330.03	0.00	0.00	0.00	0.00	25,330.03	25,330.03	Contribution received towards the provision of CCTV, lighting, safety improvements to public transport facilities and car parks or safer town centres (see agreement for details). Funds to be spent within 5 years of completion of the development (estimated to be 2019).
PPR/79/299E	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	16,353.04	0.00	0.00	0.00	0.00	16,353.04	16,353.04	Contribution received towards construction training courses delivered by recognised providers and the provision of a construction work place co-ordinator for Hillingdon Residents. No time limits for spend.

FINANCIAL UPDATE ON SECTION 106 AND 278 AGREEMENTS AT 31 March 2016 (North)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
PPR/82/301B	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	AS AT 31/03/16 22,192.63	AS AT 31/03/16 0.00	AS AT 31/03/16 0.00	To 31/03/16 0.00	AS AT 31/03/16 22,192.63	AS AT 31/03/16 22,192.63	Contribution received towards public realm improvements in the vicinity of the development including CCTV, footpath safety, safer town centres, public transport interchange facilities in the locality of the site (see agreement for details). Funds to be spent within 5 years of receipt (July 2018)
PPR/83/301D	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	19,669.95	0.00	0.00	0.00	19,669.95	19,669.95	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. Funds to be spent within 5 years of receipt (July 2018).
PPR/90/331B	Cavendish	216 Field End Road, Eastcote. 6331/APP/2010/2411	5,000.00	0.00	0.00	0.00	5,000.00	5,000.00	Contribution received towards the costs of providing construction training schemes within the London Borough of Hillingdon. No time limit for spend.
PPR/91/331C	Cavendish	216 Field End Road, Eastcote. 6331/APP/2010/2411	10,000.00	0.00	0.00	0.00	10,000.00	10,000.00	Contribution to be used by the Council towards community facilities in the Authority's area. No time limit for spend.
PPR/95/343B	Harefield	Royal Quay, Coppermill Lock, Harefield 43159/APP/2013/1094	17,700.00	17,700.00	17,700.00	17,700.00	0.00	0.00	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. No time limits. Contribution returned, paid in error.
PPR/94/346B	Northwood	42-46 Ducks Hill Road, Northwood 49987/APP/2013/1451	8,026.42	0.00	0.00	0.00	8,026.42	8,026.42	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. No time limits.
PPR/100/351B	Northwood	103, 105 & 107 Ducks Hill Rd, Northwood	10,959.04	0.00	0.00	0.00	10,959.04	10,959.04	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limits for spend.
PPR/114/380A	Ickenham	211-213 Swakeleys Rd, Ickenham, 70701/APP/2015/3026	9,600.00	0.00	0.00	0.00	9,600.00	9,600.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
PPR/115/381	South Ruislip	555 Stonefield Way, Ruislip	14,600.00	0.00	0.00	0.00	14,600.00	14,600.00	Funds received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator within the Authority's area. No time limit for spend.
		COMMUNITY, COMMERCE & REGENERATION TOTAL	322,511.32	17,700.00	17,700.00	17,700.00	304,811.32	189,681.97	
PORTFOLIO: CENTRAL SERVICES, CULTURE & HERITAGE									
CSL/16/189A	Ruislip	30 Kings End, Ruislip. 46299/APP/2006/2165	7,674.48	0.00	0.00	0.00	7,674.48	0.00	Towards the provision of community facilities in the immediate vicinity of the land. No time limits. Earmarked towards Manor Farm Library. Subject to formal allocation of funding.
CSL/9/199A	Ruislip	41, Kingsend, Ruislip. 2752/APP/2006/3451	9,338.43	0.00	0.00	0.00	9,338.43	0.00	Funds received towards the provision of community facilities in the Borough. No time constraints. Earmarked towards Manor Farm Library. £782 from this contribution has been allocated towards new equipment at Manor Farm Library (Cabinet Member decision 29/03/2016)
CSL/10/200B	Manor	Former Ruislip Manor Library, Victoria Road, Ruislip. 14539/APP/2008/2102	5,200.00	0.00	0.00	0.00	5,200.00	0.00	Funds received towards improvements to nearby community facilities. Earmarked towards Ruislip Manor Library and Community Resources Centre. Subject to formal allocation of funding.
CSL/11/205B	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	277,131.54	276,881.40	276,881.40	0.00	250.14	0.00	Contribution towards the provision or improvement of leisure, youth and/or cultural services within Eastcote and East Ruislip ward boundary. Funds to be spent by September 2014. £265k from this contribution has been allocated towards Highgrove pool improvement programme (Cabinet Member approval received 1/09/2011). Scheme completed 2013. Remaining balance allocated towards the upgrade of the Music studio at Ruislip Youth Centre (Cabinet Member Decision 06/07/2014).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015/2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
			AS AT 31/03/16	AS AT 31/12/15	AS AT 31/03/16	AS AT 31/12/15	To 31/03/16	AS AT 31/03/16	AS AT 31/03/16	
CSL/12/215A	Ruislip	5 - 11, Reservoir Road, Ruislip 61134/APP/2006/280	13,338.00	13,338.00	0.00	0.00	0.00	13,338.00	13,338.00	Contribution received towards the provision of community facilities in the locality. No time limits on spend. Earmarked towards the provision of a new community facility at the former RAF Eastcote, Lime Grove. Subject to formal allocation.
CSL/15/231D	Ruislip	Former RAF Ruislip (Ickenham Park), High Road, Ickenham 38402/APP/2007/1072	269,750.00	269,750.00	269,750.00	166,516.50	269,750.00	0.00	0.00	Funds received towards the construction of a new facility or the extension of an existing facility to provide for improvement or leisure, elderly, youth and/or cultural services within the locality of the land. Funds to be spent by November 2015. Funds allocated and spent towards improvements to the Compass Theatre (Cabinet Member Decision 23/09/15). Scheme complete.
CSL/17/238A	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	31,645.25	31,645.25	0.00	0.00	0.00	31,645.25	31,645.25	Funds received as 50% of the community facilities contribution towards community facilities schemes or measures within the Borough. Funds to be spent by February 2018. Further £16,135.64 received as remaining 50% of community facilities contribution. Funds earmarked towards the provision of a new community facility at the former RAF Eastcote, Lime Grove. Subject to formal allocation.
CSL/18/238B	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	3,268.46	3,268.46	0.00	0.00	0.00	3,268.46	3,268.46	Funds received towards the provision of library facilities and/or library books within the Borough. Funds to be spent by February 2018.
CSL/22/241B	Ruislip	28 & 29a Kingsend, Ruislip. 5740/APP/2008/1214	3,250.00	3,250.00	0.00	0.00	0.00	3,250.00	0.00	Funds received towards the expansion of local community facilities in the area of the development. Funds to be spent within 5 years of receipt (April 2016). Funds allocated towards improved facilities at Manor Farm Library (Cabinet Member report 29/03/2016).
CSL/29/263A	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67090/APP/2010/1419	356.03	356.03	356.03	0.00	356.03	0.00	0.00	Contribution received towards the provision of or improvement to library facilities and/or library books in Hillingdon. No time limits. Allocated and spent towards eBooks scheme (Cabinet Member Decision 22/12/2015).
CSL/35/282E	West Ruislip	Lyot Court, 28-30 Pembroke Road, Ruislip. 66955/APP/2011/3049	2,263.48	2,263.48	1,163.88	0.00	1,163.88	1,099.60	0.00	Contribution received towards the provision of library facilities and/or library books within the Authority's area. No time limits for spend. Allocated and spent towards eBooks scheme (Cabinet Member Decision 22/12/2015).
CSL/36/299B	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	955.56	955.56	955.56	0.00	955.56	0.00	0.00	Contribution towards the provision of or improvement to library facilities and/or library books within the Authority's area. No time limits for spend. Allocated and spent towards eBooks scheme (Cabinet Member Decision 22/12/2015).
CSL/37/299C	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	11,028.95	11,028.95	11,028.95	11,028.95	0.00	0.00	0.00	Contribution received towards the provision of or improvement of community facilities within the Authority's area. No time limit for spend. Funds spent as part of end of year financing towards a scheme to provide an extension to Eastcote Bowls Club. (Cabinet Member Approval 07/07/2015).
CSL/38/301C	Northwood	37-45 Ducks Hill Rd, Northwood 58214/APP/2010/1786	1,375.61	1,375.61	1,375.61	0.00	1,375.61	0.00	0.00	Contribution received towards the provision of library facilities and/or library books serving the locality of the development. Funds to be spent within 5 year of receipt (July 2018). Allocated and spent towards eBooks scheme (Cabinet Member Decision 22/12/2015).
CSL/43/313	South Ruislip	Queenswalk Resource Centre, Queens Walk, Ruislip 12059/APP/2012/2570	10,000.00	10,000.00	0.00	0.00	0.00	10,000.00	0.00	Funds received as a contribution towards sports and leisure facilities at Deansfield Primary School. Funds to be used towards sports items such as goal posts, rounders equipment, training kit and other sporting equipment (see agreement for details). No time limit for spend.
CSL/45/319B	Northwood Hills	117 Pinner Rd, Northwood 12059/APP/2006/2510	2,580.63	2,580.63	0.00	0.00	0.00	2,580.63	2,580.63	Contribution received towards the provision of or improvement to library facilities and/or library books in Hillingdon. No time limits
CSL/48/323E	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 23760/APP/2013/3632	1,500.73	1,500.73	1,500.73	0.00	1,500.73	0.00	0.00	Contribution received towards the provision of or improvements to library facilities and/or books within the Authority's Area. No time limits. Allocated and spent towards eBooks scheme (Cabinet Member Decision 22/12/2015).
CSL/51/331D	Cavendish	216 Field End Road, Eastcote 6331/APP/2010/2411	458.62	458.62	458.62	0.00	458.62	0.00	0.00	Contribution to be used by the Council towards the provision of or improvement to library facilities and/or library books within the Authority's area. No time limits for spend. Allocated and spent towards eBooks scheme (Cabinet Member Decision 22/12/2015).

FINANCIAL UPDATE ON SECTION 106 AND 278 AGREEMENTS AT 31 March 2016 (North)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
CSL/64/343C	Harefield	Royal Quay, Coppemill Lock, Harefield 43159/APP/2013/1094	AS AT 31/03/16 1,846.79	AS AT 31/12/15 1,846.79	AS AT 31/03/16 0.00	AS AT 31/12/15 0.00	To 31/03/16 0.00	AS AT 31/03/16 1,846.79	AS AT 31/03/16 1,846.79	Contribution to be used by the Council towards the provision of or improvement to library facilities and /or library books within the Authority's area. No time limits for spend.
CSL/63/346C	Northwood	42-46 Ducks Hill Road, Northwood 49987/APP/2013/1451	1,355.94	1,355.94	0.00	0.00	0.00	1,355.94	1,355.94	Contribution to be used by the Council towards the provision of or improvement to library facilities and /or library books within the Authority's area. No time limits for spend.
CSL/56/351C	Northwood	103, 105 & 107 Ducks Hill Rd, Northwood	659.51	659.51	0.00	0.00	0.00	659.51	659.51	Contribution to be used by the Council towards the provision of or improvement to library facilities and /or library books within the Authority's area. No time limits for spend.
		CENTRAL SERVICES, CULTURE & HERITAGE - TOTAL	654,978.01	654,978.01	563,470.78	454,426.85	275,560.43	91,507.23	54,694.58	
PORTFOLIO: FINANCE PROPERTY & BUSINESS SERVICES										
E/471/77B	Manor	41-55, Windmill Hill, Ruislip planning ref:48283/APP/2006/2353	38,258.39	38,258.39	32,124.97	32,124.97	0.00	6,133.42	0.00	Funds received towards open green space and recreational open space within a 3 mile radius of the land. This sum includes approximately £8k for bins and benches and £30k for children's play space. Funds not spent within 5 years of receipt (24 December 2012) are to be refunded. Officers currently drawing up a programme of works for Warrender Park. Funds allocated towards a scheme of improvements at Warrender Park (Cabinet Member Decision 3/9/2010). Works complete Dec 12. Accounting adjustment made, scheme to be phased.
E/62/231E	Ruislip	Former RAF Ruislip (Ickenham park), High Road, Ickenham. 38402/APP/2007/1072	146,878.75	146,878.75	44,059.48	30,383.12	13,676.36	102,820.27	0.00	Funds received as a committed sum towards the maintenance of the playing fields as part of the scheme for a period of 10 years. Spend subject to conditions as stipulated in the legal agreement. £44,063 allocated towards the annual cost of maintaining the playing fields provided at Ickenham Park development (Cabinet Member Decision 7/11/2012). £15,191.58 Spent towards maintenance costs 2012/13. Maintenance costs claimed 2014/15. Maintenance costs claimed 2015/16.
E/65/237C	Eascole	Bishop Ramsey School (lower site), Eascole Road, Ruislip. 19731/APP/2006/1442	80,431.31	80,431.31	80,000.00	0.00	80,000.00	431.31	0.00	Contribution received towards the off site provision of formal recreational open space in the vicinity of the site. Funds to be spent by February 2016. Contribution allocated and spent towards improvements at Churchfield Gardens. (Cabinet Member Decision 18/12/2015). Scheme complete.
E/66/239D	Eascole	Highgrove House, Eascole Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	10,000.00	10,000.00	7,214.17	7,214.17	536.00	2,785.83	0.00	Contribution received towards the cost of enhancement and/or nature conservation works at Highgrove Woods. No time limits. Funds allocated towards conservation works at Highgrove Woods Nature Reserve (Cabinet Member Decision 16/3/12). Works on going.
E/71/250	South Ruislip	Land adjacent to Downe Bams Farm, West End Road, West End Road, Northolt. 2392/APP/2006/2475	30,000.00	30,000.00	15,000.00	15,000.00	0.00	15,000.00	15,000.00	Funds received as maintenance instalments to assist with the management of Ten Acres Wood Nature Reserve including staffing, tree & river Maintenance and volunteers' tools & equipment. Funds to be spent within 11 years of receipt (August 2021). £15,000 allocated towards ongoing management works at the reserve (Cabinet Member Decision 7/11/2012). Spend towards stock fencing and ditch restoration at the reserve. £5,000 spent towards access improvements at the reserve.
E/78/282A	West Ruislip	Lyon Court, 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	10,000.00	10,000.00	10,000.00	0.00	548.38	0.00	0.00	Contribution received as the first instalment towards the cost of providing a scheme to protect and enhance the off site nature conservation interest in the locality of the site. Estimated time limit for spend 2019 (see agreement for details). Funds allocated towards ecological improvements at Pinn Meadows (Cabinet Member Decision 31/10/13). Scheme complete.
E/86/305B	Northwood	London School of Theology, Green Lane, Northwood 10112/APP/2012/2057	30,609.90	30,609.90	0.00	0.00	0.00	30,609.90	0.00	Contribution received towards the provision of tennis courts within Northwood Recreation Ground. No time limits.
E/91/323B	Cavendish	150 Field End Road (Initial House), Eascole, Pinner 25760/APP/2013/3632	55,000.00	55,000.00	0.00	0.00	0.00	55,000.00	55,000.00	Funds received towards the costs of improvements to public open space in the Authority's Area. No time limits for spend.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
E/99/350B	West Ruislip	Fmr Aria Dairy Site, Victoria Rd, Ruislip. 66819/APP/2014/1600	AS AT 31/03/16 50,000.00	AS AT 31/12/15 50,000.00	AS AT 31/03/16 0.00	AS AT 31/12/15 0.00	To 31/03/16 0.00	AS AT 31/03/16 50,000.00	AS AT 31/03/16 50,000.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). Funds to be spent within 5 years of receipt (Sept 2022).
E/108/380B	Ickenham	211-213 Swakeleys Rd, Ickenham 70701/APP/2015/3026	12,500.00	0.00	0.00	0.00	0.00	12,500.00	12,500.00	Funds to be used towards initiatives to improve air quality in the Authority's Area including (but not limited to): use of low fuel technology; tree and other planting; restrictions on certain types of vehicles; use of cleaner fuels; use of combined heat & power; environmental management and air quality strategy (see agreement for details). No time limit for spend.
FINANCE PROPERTY & BUSINESS SERVICES SUB -TOTAL			463,679.35	451,179.35	188,388.62	94,722.26	94,760.74	275,280.73	132,500.00	
PORTFOLIO: SOCIAL SERVICES, HOUSING, HEALTH & WELLBEING										
H/9/184C *55	West Ruislip	31-46 Pembroke Rd, Ruislip 59816/APP/2006/2896	21,754.72	21,754.72	21,754.72	21,754.72	13,170.29	0.00	0.00	Contribution received towards primary health care facilities within a 3 mile radius of the development. Funds not spent by July 2015 must be returned to the developer. £8,584 allocated towards improvements at King Edwards Medical Centre, Ruislip (Cabinet Member Decision 6/12/2013). Funds transferred to NHS Property Services (Feb 2014). Remaining balance allocated towards capacity improvements at Uxbridge Health Centre (Cabinet Member Approval 12/06/2015). Funds transferred to HCCG (July 2015).
H/11/195B *57	Ruislip	Highgrove House, Eascole Road, Ruislip. 10622/APP/2006/2494	3,156.00	3,156.00	0.00	0.00	0.00	3,156.00	0.00	Funds received towards the provision of local health care facilities in the vicinity of the site. No time limits.
H/20/238F *72	West Ruislip	Former Mill Works, Bury Street, Ruislip. 61571/APP/2009/2069	31,441.99	31,441.99	0.00	0.00	0.00	31,441.99	0.00	£15,409 received as 50% of the health contribution towards providing health facilities in the Borough (see legal agreement for further details). First instalment to be spent by February 2018. £16,032 received as remaining 50% health contribution. Funds to be spent by June 2018.
H/21/237D *73	Eastcote	Bishop Ramsey School (lower site), Eascole Road, Ruislip. 19731/APP/2006/1442	22,516.57	22,516.57	22,516.57	22,516.57	22,516.57	0.00	0.00	Funds received towards the provision of primary health care facilities in the Uxbridge area. Funds to be spent by February 2016. Funds allocated towards capacity improvements at Uxbridge Health Centre (Cabinet Member Approval 12/06/2015). Funds transferred to HCCG (July 2015).
H/22/238E *74	Eastcote	Highgrove House, Eascole Road, Ruislip. 10622/APP/2008/2504	7,363.00	7,363.00	0.00	0.00	0.00	7,363.00	0.00	Funds received towards the cost of providing health facilities in the Borough (see legal agreement for further details). No time limits.
H/24/184A	West Ruislip	31-46 Pembroke Road, Ruislip 59816/APP/2006/2896	49,601.53	49,601.53	49,601.53	49,601.53	49,601.53	0.00	0.00	Funds have been earmarked towards the dining centre for Northwood and Ruislip elderly persons association (Elm Park). Funds not spent by 1/07/2015 to be returned. Funds transferred to Social Services, Health & Housing Portfolio from CSL/15/184A. Contribution allocated towards improvements at the Elm Park Dining Centre. (Cabinet Member Decision 19/03/2015). Scheme completed June 2015. All invoices now received.
H/28/263D *81	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67090/APP/2010/1419	3,353.86	3,353.86	0.00	0.00	0.00	3,353.86	0.00	Funds received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). No time limit for spend.
H/34/282E *92	West Ruislip	Fmr Lyon Court, 28-30 Pembroke Road, Ruislip. 66969/APP/2011/3049	15,031.25	15,031.25	0.00	0.00	0.00	15,031.25	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 5 years of completion of the development (estimated to be 2019).
H/35/282G	West Ruislip	Fmr Lyon Court, 28-30 Pembroke Road, Ruislip. 66969/APP/2011/3049	40,528.05	40,528.05	0.00	0.00	0.00	40,528.05	40,528.05	Funds received as the affordable housing contribution to be used by the Council to provide subsidized housing through a registered social landlord to persons who can't afford to rent or buy houses generally available on the open market. Funds to be spent within 5 years of completion of the development (estimated to be 2019).

FINANCIAL UPDATE ON SECTION 106 AND 278 AGREEMENTS AT 31 March 2016 (North)

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
H/36/299D *94	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruslip. 66033/APP/2009/1060	AS AT 31/03/16 9,001.79	AS AT 31/12/15 9,001.79	AS AT 31/03/16 0.00	AS AT 31/12/15 0.00	To 31/03/16 0.00	AS AT 31/03/16 9,001.79	AS AT 31/03/16 0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/37/301E *95	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	12,958.84	12,958.84	0.00	0.00	0.00	12,958.84	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 5 years of receipt (July 2018).
H/43/319C	Northwood Hills	117 Pinner Road, Northwood 12055/APP/2006/2510	221,357.83	221,357.83	0.00	0.00	0.00	221,357.83	221,357.83	Contribution to be used towards the cost of providing affordable housing in the Authority's area - No time limits for spend.
H/44/319D *103	Northwood Hills	117 Pinner Road, Northwood 12055/APP/2006/2510	24,312.54	24,312.54	0.00	0.00	0.00	24,312.54	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/45/323F	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	86,000.00	86,000.00	0.00	0.00	0.00	86,000.00	86,000.00	Contribution received towards subsidised housing available through a Registered Provider to persons who cannot afford to rent or buy houses generally available on the open market. No time limit for spend.
H/46/323G *104	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	14,126.88	14,126.88	0.00	0.00	0.00	14,126.88	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/48/331E *107	Cavendish	216 Field End Road, Eastcote 6331/APP/2010/2411	4,320.40	4,320.40	0.00	0.00	0.00	4,320.40	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/51/231H *110	Ruslip	Fmr RAF West Ruslip (Ickenham Park), High Road, Ickenham 38402/APP/2013/2685 & 38402/APP/2012/1033	17,374.27	17,374.27	0.00	0.00	0.00	17,374.27	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/52/205G	Eastcote	Former RAF Eastcote (Pembroke Park), Lime Grove, Ruslip 10169/APP/2014/3354 & 3359/3358 & 3360	298,998.00	298,998.00	0.00	0.00	0.00	298,998.00	298,998.00	Funds received as the affordable housing contribution to be used by the Council to provide subsidised housing through a registered social landlord to persons who can't afford to rent or buy houses generally available on the open market. No time limit for spend.
H/53/343D *112	Harefield	Royal Quays, Coppermill Lock, Harefield 43159/APP/2013/1094	8,698.77	8,698.77	0.00	0.00	0.00	8,698.77	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/53/346D *113	Northwood	42-46 Ducks Hill Road, Northwood 49987/APP/2013/1451	8,434.88	8,434.88	0.00	0.00	0.00	8,434.88	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/57/351D *116	Northwood	103, 105 & 107 Ducks Hill Road, Northwood. 64345/APP/2014/1044	6,212.88	6,212.88	0.00	0.00	0.00	6,212.88	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
		SOCIAL SERVICES HEALTH & HOUSING SUB-TOTAL	906,544.05	906,544.05	93,872.82	93,872.82	85,289.39	812,671.23	646,863.68	

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2015 / 2016 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2016)
			AS AT 31/03/16	AS AT 31/12/15	AS AT 31/03/16	AS AT 31/12/15	To 31/03/16	AS AT 31/03/16	AS AT 31/03/16	
		SECTION 106 SUB - TOTAL	7,776,642.57	7,708,784.57	5,979,820.57	4,098,554.11	2,175,083.16	1,796,822.00	1,256,146.98	
		GRAND TOTAL ALL SCHEMES	8,980,909.85	7,861,241.85	6,139,787.48	4,185,211.02	2,248,393.16	2,841,122.37	1,256,146.98	
NOTES:										
The balance of funds remaining must be spent on works as set out in each individual agreement.										
Bold and strike-through text indicates key changes since the Cabinet report for the previous quarter's figures.										
Bold figures indicate changes in income and expenditure.										
Income figures for schemes within shaded cells indicate where funds are held in interest bearing accounts.										
* Denotes funds the Council is unable to spend currently (date £1,229,159.95)										
*24: PT25			£37,425.09							reasonable period for expenditure without owner's agreement has lapsed
*32: PT276146			£5,000.00							is to be held as a returnable security deposit for the highway works (to be later refunded)
*49: PT27863			£5,000.00							is to be held as a returnable security deposit for the highway works (to be later refunded)
*55: H43184C			£0.00							funds have been received to provide Primary Health Care facilities in the borough.
*57: H11195B			£3,156.00							funds have been received to provide Primary Health Care facilities in the borough.
*62: PT27877197			£23,000.00							funds have been received to provide health care services in the borough.
*72: H26238F			£31,441.99							funds held as security for the due and proper execution of the works.
*73: H21237D			£0.00							funds have been received to provide Health Care services in the borough.
*74: H22239E			£7,363.00							funds have been received to provide Primary Health Care facilities in the borough.
*78: PT27878238G			£5,000.00							is to be held as a returnable security deposit for the highway works (to be later refunded)
*81: H26263D			£3,353.86							funds have been received to provide Health Care services in the borough.
*92: H34282F			£15,031.25							funds have been received to provide Health Care services in the borough.
*95: H37301E			£12,968.84							funds received to provide health care facilities in the borough.
*103: H44319D			£24,312.54							funds received to provide health care facilities in the borough.
*104: H46323G			£14,126.88							funds received to provide health care facilities in the borough.
*105: PT148327			£20,000.00							funds received to provide health care facilities in the borough.
*107: H48331E			£4,320.40							funds to be held as a returnable deposit for the implementation of the travel plan (later to be refunded)
*110: H51231H			£17,374.27							funds received to provide health care facilities in the borough.
*112: H54243D			£3,696.77							funds received to provide health care facilities in the borough.
*115: PT278685949			£106,894.18							funds to be held as a returnable deposit for highways works (to be later refunded).
*116: H57351D			£5,212.86							funds received to provide health care facilities in the borough.
*122: PT278103390C			£978,500.00							is to be held as a returnable security deposit for the highway works (to be later refunded).
			£1,229,159.95							

Dec figs	total bal	spendable unalloc: unspendable	allocated (live/not live)
	17,185,623.74	7,296,471.14	6,633,266.16
		3,255,886.44	
	income 31 Mar 16	income 31 Dec 15	
	36,465,288.27	34,839,523.30	1,625,764.97
			1,625,764.97
	exp 31 Mar 16	exp 31 Dec 15	
	23,825,524.06	17,653,899.56	6,171,624.50
			6,171,624.50
	total bal	spendable unalloc: unspendable	allocated (live/not live)
	12,639,764.21	5,081,637.43	3,524,187.92
		4,033,938.86	3,524,187.92
-	4,545,859.53	- 2,214,833.71	778,052.42
			- 3,109,078.24
			- 4,545,859.53

	Dec report		Sept rpt		S106 unspendable		not allocated	
	at 31/12/07	Total Income at 30/9/07	new income q3	Total Income at 30/9/07	Sept rpt	Variance	Dec rpt	Variance
PT278/26/127 (Includes Former PT/29) *16	58,827	58,827		58,827	5,000	5,000	0	0
664 Victoria Rd S,Ruislip / 27060/APP/2003/1105								
PT278/30/115 *22	572,732	572,732		572,732	558,232	558,232	0	0
Stockley Park Phase 3 "Trident Site" 37977/W/96/1447								
PT278/34/86A *18	10,500	10,500		10,500	5,000	5,000	0	0
Terminal 5, Land at Longford Roundabout, Heathrow s278 10 Jan 02								
PT278/44/87A *20	385,827	385,827		385,827	188,379	188,379	0	0
47853/93/246								
PT278/46/135 *32	278,673	278,673		278,673	197,592	197,592	0	0
Highways Works at Junction Hillingdon Hill / Kingston Lane & Pelican Crossing on Kingston Lane								
PT278/47 *23	7,458	7,458		7,458	5,000	5,000	0	0
532/SPP/2002/2237 - Traffic Calming on Cleveland Road & New Entrance on Kingston Lane								
PT278/48 *36	74,984	74,984	(12,339)	12,339			0	0
10A Sandy Lodge Way Northwood								
PT278/49/117 *14	63,873	63,873		63,873	63,873	63,873	0	0
Refunds Various								
PT278/50/132	33,510	33,510		33,510			0	0
No Legal Agreement Various								
PT278/51/128 *36	4,847	4,847		4,847			0	0
Grand Union Village Southall								
PT278/55/10A *14	161,499	161,499		161,499	161,036	161,036	0	0
327/APP/2000/2106								
PT278/57/140 A	381,642	381,642		381,642			0	0
Land at Rockingham Road, Riverside Way Uxbridge / 56862/APP/2001/2595								
PT278/58/143	1,000	1,000		1,000			0	0
Harlington Community School Sports Centre, Pinkwell Lane, Hayes / 18948/APP/2000/2427								
PT278/60/147A *42	16,500	16,500		16,500	15,000	15,000	0	0
Land at Sanderson Site and Braybourn / 35347/APP/2000/1294 & 1296								
PT278/60/147B PT278/61/148A	55,126	55,126		55,126			0	0
MOD Records Office Stockley Road								
PT278/61/148A	2,000	2,000		2,000			0	0
Hayes 18399/APP/2004/2284								
The Dairy Farm, Breakspear Road North, Harefield								
Formerly (Formerly PT/31)								
Former DERA site, Kingston Lane West Drayton 45658/APP/2002/3012								
Former RAF - Porters Way, West Drayton 51077/APP/2005/2082								

PT278/62/149	Hayes Goods Yard 10057/APP/2004/2996&2999	2,000	2,000	2,000	0	0	0
PT278/63	White House Gate, R.A.F Northolt	25,000	25,000	55,000	(30,000)	20,000	20,000
*49	R.A.F. Eastcote	2,000	2,000	2,000		20,000	20,000
PT/278	SECTION 278 SUB - TOTAL	2,137,998	2,148,337	2,178,337	(30,000)	1,199,112	1,199,112
PT/05/04a	BA World Cargo / 50045A/95/1043	328,915	328,915	328,915		328,915	328,915
*2							
PT/05/04b	BA World Cargo / 50045A/95/1043	399,335	399,335	399,335		136,690	136,690
*2							
PT/08/68A&B	Land at Hayes Park, Hayes End Road, Hayes 12853/APP/2000/675	12,418	12,418	12,418			
(See also PT/66)							
PT/11/45	Springwell Lane - Cycle Way / 6679/AZ/98/0897	3,248	3,248	3,248			
PT/18/38B	Former Airspeed House, Stanwell Road, Heathrow / 50395/A97/1297	135,981	135,981	135,981		59,068	59,068
(See also E/25/38A)							
*33	Wimpey Site, Beaconsfield Road / 582/BX/98/0882	19,915	19,915	19,915			
PT/20/70	The Chimes - Supervision & TTS / 42966/AH/96/1862	113,485	113,485	113,485		893	(893)
PT/21/39A							
PT/24/55	Former Arlington Hotel, Shepiston Lane, Harington - Highway Works 382/BH/97/0714	22,935	22,935	22,935		22,935	22,935
(see E/08)							
*28	J Sainsbury, 11 Long Drive, Ruislip 33667/7/97/0684	36,310	36,310	36,310		36,310	36,310
PT/25/56	Land at Thorn EMI Complex - Highways Works & Environmental Improvements 51588/APP/2000/366&1418	553,808	553,808	553,808			
*24							
PT/37/40B-C	Land at Thorn EMI Complex - Parking 51588/APP/2000/366&1418	31,819	31,819	31,819		31,819	31,819
(see: PPR/29)							
PT/37/40E							
*47							
PT/41/94A	Land to the West of Stone Close, Horton Road, Yiewsley / 54822/APP/2000/424	9,506	9,506	9,506		9,506	9,506
(See also E/29)							
*19	Land to the West of Stone Close, Horton Road, Yiewsley 54822/APP/2003/718	4,777	4,777	4,777		4,777	4,777
PT/41/94B							
*19							
PT/41/94C	Land to the West of Stone Close, Horton Road, Yiewsley / 54822/APP/2000/424	5,703	5,703	5,703		5,703	5,703
*19							
PT/42/41	Temp Stockpiling at Bedford Court. 47853/SPP/2003/113	50,000	50,000	50,000		50,000	50,000
*31							
PT/44/03	S278 Surplus	157,292	157,292	157,292		157,292	157,292

PT/45/68 PT/50/15B	North Point, Horton Rd, Yiewsley (Independent Industrial Estate) / 2664/AA/98/2349	13,689	13,689	13,689	0
(see also: PPR/07)					
PT/52/73	Land at Barnsfield Place, Uxbridge - Lighting / 43662/F/99/2018	30,000	30,000	30,000	0
*45 PT/54/21C	County Court Site Management Former Magnatex Site, Bath Road - Residents Parking Scheme	35,757	35,757	35,757	0
PT/54/21D	10850/5/97/2005	3,520	3,520	3,520	0
PT/56/26A	Former EMI Site, Dawley Road - Landscaping 6198/BS/98/1343	57,000	57,000	57,000	0
(see: PPR/18 & E/17) PT/57/27C (see: EYL/35 & E/18) *34 PT/61/89B	Former EMI Site, Dawley Road - HGV Signage 6198/BS/98/1343	39,739	39,739	39,739	0
(see: E/35) PT/65/74A (see EYL/40, E/20 & E/21) PT/66/51 (See also PT/06) PT/67/95A (Formerly E/30/95A)	Trident Site, Phase 3 Stockley Park - Hayes Hub/H50 & Botwell Common Road Zebra Crossing 37977/P/94/335	2,676,600	2,601,600	75,000	2,601,600
PT/68/96A PT/69/97A (see: E/22) PT/70/98A (see: EYL/46 & E/23)	Carmichael Close, Ruislip - Highway Works / 55898/APP/2000/2736	13,882	13,882	13,882	0
PT/71/99	LHR Training Centre, Stockley Close / 51458/97/1537	25,000	25,000	25,000	0
	Land at Johnson's Yard (former garage site), Redford Way, Uxbridge - Street Lighting 53936/APP/2002/1357	18,863	18,863	18,863	0
	White Hart Public House, 1186 Uxbridge Road, Hayes 10852/APP/2003/2196	5,261	5,261	5,261	0
	Land At Royal Lane Hillingdon 56265/APP/2001/1103 - Landscaping	3,440	3,440	3,440	0
	Land at Sanderson Site and Braybourm - Tramway feasibility, resident parking scheme / 35347/APP/2000/1294 & 1296	42,925	42,925	42,925	0
	Land at West Drayton Depot Stockley Road West Drayton - Landscaping 2760/APP/2003/2816	5,463	5,463	5,463	0
	Land at Toolmasters site Hillingdon - Traffic Calming 3048/APP/2003/552 UB1 Vine Street Uxbridge	25,590	25,590	25,590	0
	11005/AG/97/360	250,000	250,000	250,000	0

PT/72/88B (see: PT/73 & EYL/47)	Land at Hales Yard Springwell Lane, Harefield 21895/APP/2003/763&764 - Highways	41,720	41,720	41,720	695	(695)	0
PT/73/88C (see: PT/72 & EYL/47)	Land at Hales Yard, Springwell Lane, Harefield 21895/APP/2003/763&764 - Township	9,840	9,840	9,840			0
PT/76/119	Land at 64 Ducks Hill Road Northwood/26900/J99/1077	34,213	34,213	34,213			0
PT/77/123 (See also PT/278/55)	Grand Union Village, Ruislip Road, Southall/ 327/APP/2000/2106	49,588	49,588	49,588			0
PT/79/108A (formerly PT/278/41)	Land at Sanderson Site and Braybourn / 35347/APP/2000/1294 & 1296	27,201	27,201	27,201			0
PT/80/112 (formerly PT/278/05)	Larchmont, Ladygate Lane, Ruislip, 14633/APP/2002/203	74,594	74,594	74,594			0
PT/82/114 (formerly PT/278/23)	Grand Union Park, Packet Boat Lane, site ref: 1197 (various applications)	46,418	46,418	46,418			0
PT/84/87B-D (Formerly part of PT/278/44)	Waterloo Road, Uxbridge - Highway Works / 332BD/99/2069	12,785	12,785	12,785			0
PT/88/140 B	Brunel s106 16 April 04 532/SPP/2002/2237	14,396	14,396	14,396			0
PT/88/140C *38	MOD Records Office, Stockley Road, Hayes - Offsite Footpath 18399/APP/2004/2284	3,127	3,127	3,127			0
PT/88/140F	MOD Records Office, Stockley Road, Hayes - Public Transport 18399/APP/2004/2284	488,717	488,717	488,717	488,717	488,717	0
*46	MOD Records Office, Stockley Road, Hayes - Parking 18399/APP/2004/2284	70,516	70,516	70,516	70,516	70,516	0
PT/91/142A	3 Reginald Road, Northwood 58666/APP/2005/1087	1,018	1,018	1,018			0
PT/92/154	5, 7, 7a & 10 Westlands Industrial Estate 1902/APP/2005/2370	40,290	40,290	40,290			0
PT/93/147C	DERA Site, Kingston Lane, West Drayton - Traffic Calming 45658/APP/2002/3012	20,046	20,046	20,046			0
PT/93/147D	DERA Site, Kingston Lane, West Drayton - Cycle Network 45658/APP/2002/3012	32,073	32,073	32,073			0
PT/95/161A	Former Honeywell Site, Trout Road, West Drayton - Footpath 335/APP/2002/2754	15,010	15,010	15,010			0
PT/96/164	26-38 Windsor Street (Westcombe House), Uxbridge 13544/APP/2005/31	10,500	10,500	10,500			0
PT/97	Colham House Taxi Rank Relocation 27298/APP/2006/875	15,000	15,000	15,000			0
		15,000	15,000	15,000	15,000	15,000	15,000

PT/98	Colham House Footpath Re-Paving 27298/APP/2006/875	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000
PT/99	Colham House Kerb Alignment 27298/APP/2006/875	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000
PT/100	Colham House Side Alley Re-surfacing 27298/APP/2006/875	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
PT/101	11 - 21 Clayton Road, Hayes 56840/APP/2004/630	30,066	30,066	30,066	30,066	30,066	30,066	30,066	30,065.7
PT/102	Honeywell Site, Trout Road Yiewsley 335/APP/2002/2754	151,948	151,948	151,948	151,948	151,948	151,948	151,948	151,947.8
PT/103	West Drayton to Heathrow Cycle Scheme	100,000	100,000	100,000	100,000	100,000	100,000	100,000	
PT/104	DRA Site at Kingston Lane	10,000	10,000	10,000	10,000	10,000	10,000	10,000	
		6,486,241	6,301,241	6,301,241	6,265,484	35,757	1,257,467	1,259,055	(1,588)
CSL/1/13									
(formerly EYL/15/13)	Sainsbury-Minet D. / 40601H/91/1970 DERA Site, Kingston Lane, West Drayton - Community Facility	1,433,000	1,433,000	1,433,000	1,433,000				0
CSL/2/147E	45658/APP/2002/3012 MOD Records Office Stockley Road/Bourne Avenue, Hayes	243,005	243,005	243,005	243,005				243,005
CSL/3/140I CSL/4/152A	18399/APP/2004/2284	66,134	66,134	66,134	66,134				66,134
(Formerly: PPR/35)	Middlesex Lodge, 189 Harlington Road, Hillingdon 12484/APP/2005/1791	19,839	19,839	19,839	19,839				19,839
	CULTURE, SPORT AND LEISURE SUB								
	- TOTAL	1,761,977	1,761,977	1,761,977	1,761,977				328,977
EYL/03 /12B	Hillingdon Hospital - North Site / 4058/99/1568	668,174	668,174	668,174	668,174				0
EYL/14/75	Land at 78-84 The Crescent, Harlington / 46970/APP/1999/2169	21,640	21,640	21,640	21,640				0
EYL/19/44	The Springs, Springwell Lane, Rickmansworth / 6679/AZ/98/0897	31,620	31,620	31,620	31,620				0
EYL/28/79	Former Elec S/S, Kingston Lane, West Drayton 55015/APP/2001/2590	20,318	20,318	20,318	20,318				0
EYL/29/54	Hyde House, Newhaven Close, Hillingdon 2306/SPP/2002/238	36,836	36,836	36,836	36,836				0
EYL/30/30 EYL/31/19A	Former Bridge Works, Bentinck Road W/D/ 20610/APP/2002/2407	161,898	161,898	161,898	161,898				0
(see: PT/51, PPR/13 & E/12)	County Court Site, 114 High Street, Uxbridge / 5067/APP/00/1149 & 1385	194,922	194,922	194,922	194,922				0

EYL/38/104	Defence Research Agency, West Drayton - New Nursery & W Drayton Primary School Improvements / 49542F/98/1509	394,733	394,733	394,733	0	0
see: PT278/22	Land at North Works, Summerhouse Lane, Harefield 201A/J/98/2472	121,107	121,107	121,107	0	0
EYL/39/65A						
EYL/40/74D						
(see: PT/65, E/20 & E/21)	Land at Johnson's Yard 53936/APP/2002/1357	18,900	18,900	18,900	0	18,900
EYL/43/67	Herne House, Church Walk, Hayes	66,514	66,514	66,514	0	0
EYL/44/81	15405/APP/2003/188	18,680	18,680	18,680	0	0
EYL/45/82	339-353 High Street, Harlington 53740/APP/99/310	18,610	18,610	18,610	0	0
EYL/49/106	113 Belmont Road & 2-4 Fairfield Road, Uxbridge 55741/APP/2003/1467	11,465	11,465	11,465	0	0
EYL/55/110	Land at 9 Orchard Drive Cowley 11972/APP/2003/1546	69,984	69,984	69,984	0	0
EYL/56/108B&C	2 - 6 Swan Road West Drayton/ 5722/APP/2004/589	22,865	22,865	22,865	0	0
(See also PT278/41)	Larchmont, Ladygate Lane, Ruislip. 14633/APP/2002/203	167,440	167,440	167,440	167,440.09	13,565
EYL/57/118	Land at the Chestnuts, Barra Hall, Hayes 8134/APP/2003/2838 & 8134/APP/2003/2831	13,565	13,565	13,565	0	13,565
(See also E/31)	Land at Buchan Close Cowley 58254/APP/2003/783	19,427	19,427	19,427	0	0
EYL/59/129A	5 - 19 Botwell Lane Hayes 53799/APP/2003/360	371,818	371,818	371,818	197,818	197,817.94
EYL/60/131	St Vincent's Hospital Northwood 138/APP/2001/1240	8,417	8,417	8,417	8,417	8,417
EYL/62/137	Land at Dalegarth & Rydall Orchard View Cowley 56481/APP/2003/2735	28,460	28,460	28,460	15,321	15321.45
EYL/63/138	3 Reginald Road, Northwood 58866/APP/2004/274	179,174	179,174	179,174	86,922	86921.50824
EYL/65/142B	68 Ducks Hill Road 11900/APP/2005/1087	21,276	21,276	21,276	0	0
EYL/66/144	6A Swan Road West Drayton 9037/APP/2005/2945	68,663	68,663	68,663	0	0
EYL/67/145	91 Cowley Road Uxbridge 263/APP/2003/1769	30,346	30,346	30,346	16,205	16204.96828
EYL/68/146	The Retreat, 26 Field End Road, Eastcote 2011/APP/2002/876	14,256	14,256	14,256	0	0
EYL/69/150	35 The Drive, Ickenham 32381/APP/2004/282	471,253	471,253	471,253	0	0
EYL/70/151	Fmr RAF West Drayton, Porters Way, West Drayton 5107/APP/2005/2082	13,120	13,120	13,120	0	0
EYL/71/155B	18-24 Hercies Road, Uxbridge 60045/APP/2005/1997					
EYL/72/156						

EYL/73/157	23b Green Lane, Northwood	21,063	21,063	21,063	21,063	11,248	11247,642
EYL/74/158	38244/APP/2005/2654 29 Dawley Road, Hayes	14,543	14,543	14,543	14,543	0	0
EYL/75/162	23-26 Queens Road Uxbridge	19,129	19,129	19,129	19,129	0	19,129
EYL/76/163	53248/APP/2005/680 18a Colham Ave, West Drayton	18,939	18,939	18,939	18,939	8,826	8,826
EYL/77/147F	29679/APP/2006/1048 DERA Site, Kingston Lane, West Drayton	328,366	328,366	328,366	328,366	0	0
EYL/78/161B	45658/APP/2002/3012 Former Honeywell Site, Trout Road, West Drayton	238,153	238,153	238,153	238,153	0	0
EYL/79/140G	335/APP/2002/2754 MOD Records Office Stockley Road/Bourne Avenue, Hayes	768,003	768,003	768,003	768,003	357,890	357,890
EYL/80/165	18399/APP/2004/2284 Land Rear of 4-20 Acacia Avenue, Yiewsley, 39054/APP/2004/2894	77,511	77,511	77,511	77,511	0	0
EYL/81/166	Land at Dell Court, Green Lane, Northwood 59117/APP/2006/872	29,087	29,087	29,087	29,087	15,532	15532,458
EYL/82	367-371, High St, Harlington	45,214	45,214	45,214	45,214	0	0
EYL/87	19758/APP/2005/371 Dairy Farm Breakspear Rd 27314/APP/2005/844	73,803	73,803	73,803	73,803	73,803	73802,65
EYL/83	35199/APP/2006/884 Hayes Goods Yard 10057/APP/2005/2996 & 2999	7,722	7,722	7,722	7,722	7,722	7721,63
EYL/84	11-21, Clayton Rd, Hayes	262,182	252,606	252,606	252,606	0	0
EYL/85	56840/APP/2004/630 Honeywell Site, Trout Rd., Yiewsley	98,853	98,853	98,853	98,853	98,853	98852,87
EYL/86	335/APP/2002/2754	765,637	765,637	765,637	765,637	405,787	529545,08 (123,758)
EYL/88	former True Lovers' Knot Public House, EDUCATION, YOUTH AND LEISURE	66,591	66,591	66,591	66,591		
	SUB - TOTAL	6,120,274	6,044,107	6,044,107	6,044,107	1,523,377	1,220,408 302,969
PPR/02/39C	The Chimes - Uxbridge Initiative / 42966/AH/96/1862	100,000	100,000	100,000	100,000	0	0
PPR/05/33	Blunts Field Training Programme, Bath Road / 45486/G/98/2296	66,778	66,778	66,778	66,778	0	0
PPR/07/15A							
(see: PT/50)							
PPR/09/42	Land at Barnsfield Place, Uxbridge - Small Business Units / 43562/F/99/2018	150,570	150,570	150,570	150,570	0	0
*8	Abbess Warehouse, Hayes / 49614B/96/110	30,000	30,000	30,000	30,000	0	0

PPR/10/16	Land At Masterdrive Unit, Printing House Lane, Hayes / 45736/APP/2000/2577	86,195	86,195	86,195	0
PPR/13/19C	County Court Site, 114 High Street, Uxbridge - Uxbridge TC Improvements / EYL/31 & E/12) 5067/APP/00/1149 & 1385	15,803	15,803	15,803	0
(see: PT/54 & E/13)	Former EMI Site, Dawley Road - Hayes TC Partnership / 6198/BS/98/1343	131,081	131,081	131,081	0
PPR/24/05	Denbridge Industrial Estate, Oxford Road/4551/CL/98/435	200,000	200,000	200,000	0
*35	Land at Former Sadia Works, High St, Yiewsley / 41515/B/93/606	10,000	10,000	10,000	0
PPR/26/84	Land at junction of Hayes Bypass, Uxbridge Road & Coldharbour Lane (Specific Environmental Works - former Uxbridge College Access) / 40601H/91/1970	47,466	47,466	47,466	0
PPR/32/50 (Formerly PT/02)	Former SKM House Springfield Road Hayes 35515/APP/2005/516	5,000	5,000	5,000	0
PPR/33/139	MOD Records Office Stockley Road, Hayes 18399/APP/2004/2284	78,171	78,171	78,171	0
PPR/34/140D	Polar Park, Bath Road, Harmondsworth 2964/APP/2002/1436 & 1437	13,250	13,250	13,250	0
PPR/36/153A	Horton Close, West Drayton 46871/APP/2006/1037	4,200	4,200	4,200	0
PPR/37/159	DERA Site, Kingston Lane, West Drayton - Town Centre	67,153	67,153	67,153	0
PPR/40/147G	45658/APP/2002/3012	8,500	8,500	8,500	0
PPR/41/167	9-15, Harefield Road, Uxbridge 59532/APP/2005/2401	78,939	78,939	78,939	0
PPR/42	Hayes Goods Yard 100577/APP/2004/2996 & 2999	10,000	10,000	10,000	0
PPR/43	Colham House, Uxbridge, Training 27298/APP/2006/875	18,229	18,229	18,229	0
PPR/44	Honeywell Site, Trout Rd., Yiewsley 335/APP/2002/2754	18,229	18,229	18,229	0
E/02/18	PERFORMANCE, PARTNERSHIPS & REGENERATION SUB - TOTAL	1,121,336	1,121,336	1,121,336	30,000
E/06/2A	Old Mill House, Thorney Mill Road, West Drayton / 41706C/91/1904	59,556	59,556	59,556	0
E/09/11B	BT Site, Willow Tree Lane, Yeading - Play Ground Works	100,000	100,000	100,000	0
(see: PT/48 & EYL/01)	Little London Nurseries, Harlington Road - Moreilo Avenue Play Area / 3408/APP/2000/703	38,021	38,021	38,021	0

E/10/85 (see: PT/36) E/13/21A	A4 Heathrow Corridor scheme - Match Funding for Heathrow Villages Chrysalis Projects	25,000	25,000	25,000	25,000	0
(formerly PT/54/21A) E/17/26D	Former EMI Site, Dawley Road / 6198/BS/98/1343	25,000	25,000	25,000	25,000	0
(see: PT/56 & PPR/18) E/18/27B	Trident Site, Phase 3 Stockley Park - Lake Farm & Botwell Green Play Area 37977/P/94/335	1,323,400	1,323,400	1,323,400	1,323,400	0
(see: PT/57 & EYL/35) E/19/36 (see: PPR/21) E/21/74C	Carmichael Close, Ruislip - Sidmouth Open Space / 55898/APP/2000/2736 Land adj. Eastern Perimeter Rd. H'row. - Air Quality 53546/APP/98/2307	125,274	125,274	125,274	125,274	0
(see: PT/65, EYL/40 & E/20) E/22/97B	Land at Johnson's Yard - Uxbridge TC CCTV 53936/APP/2002/1357 Land at West Drayton Depot Stockley Road West Drayton - Monitoring of Noise & Dust Emissions 2760/APP/2003/2816	5,370	5,370	5,370	5,370	0
(see: PT/69) E/24/62 (See also PT/60 & PPR/23) E/25/38A (See also PT/18/38B) E/26/93 (Formerly PT/33) E/27/92 (Formerly PT/36) E/28/71 (Formerly PT/40) E/29/94D	Land at Lyon Industrial Estate, High Rd, Cowley - Uxbridge Cowley Initiative (Employment Training, Air Quality & Highway Works) 51095/APP/2000/1004 Former Airspeed House, Stanwell Road, Heathrow / 50395/A97/1297 H.S.A Land, Bath Road 41667S/98/16 A4 Heathrow Corridor scheme - Oxford Avenue Green Land at Hendrick Lovell, S.W of Dawley Road, Hayes 43554/C/92/787 Land to the West of Stone Close, Horton Road, Yiewsley / 54822/APP/2000/424 (outline) & 54822/APP/2003/718 (full)	5,463	5,463	5,463	5,463	0
E/31/124 (see also EYL/57)	Land at the Chestnuts, Barra Hall, Hayes 8134/APP/2003/2838 & 8134/APP/2003/2831	42,172	42,172	42,172	42,172	0

Plans for North Applications Planning Committee

Thursday 14th July
2016



HILLINGDON
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Page 87

Report of the Head of Planning, Sport and Green Spaces

Address 52 BUSHEY ROAD ICKENHAM

Development: One two storey 4-bedroom detached dwelling and one single storey 3-bedroom detached bungalow with associated off-street parking spaces, bin/cycle storage and amenity space and installation of vehicular crossover to front (involving demolition of garage to side/rear) (Revised and Resubmission)

LBH Ref Nos: 71297/APP/2016/529

Date Plans Received: 10/02/2016 **Date(s) of Amendment(s):** 10/02/2016

Date Application Valid: 10/02/2016

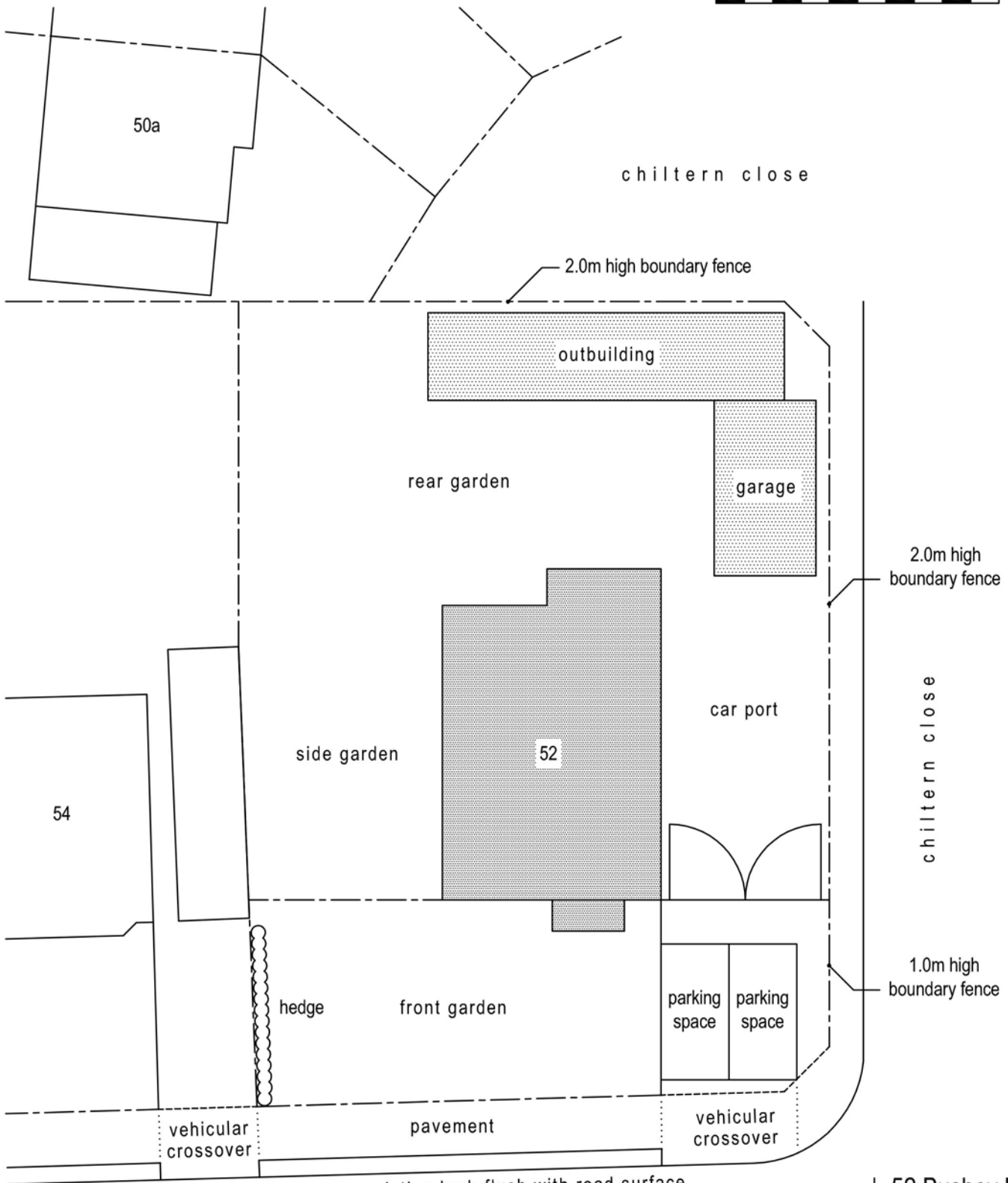
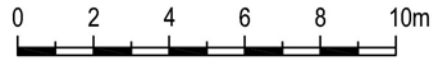


LOCATION PLAN

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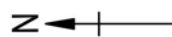
52 BUSHEY ROAD ICKENHAM MIDDX UB10 8JS





existing kerb flush with road surface

bushey road



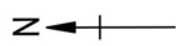
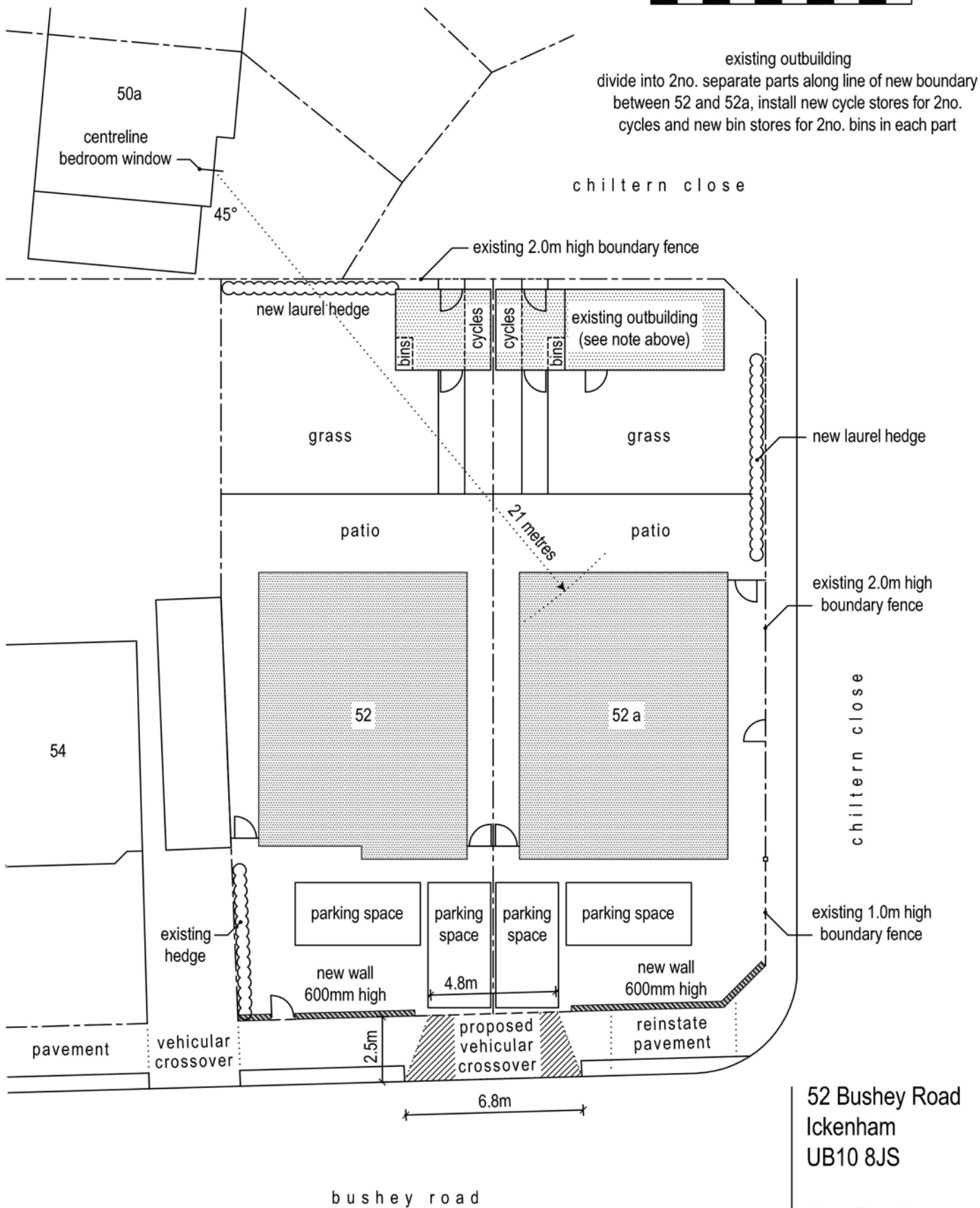
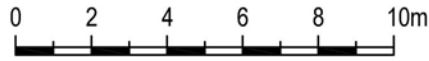
52 Bushey Road
Ickenham
UB10 8JS

New Dwellings

Site Plan - Survey

1:200 on A4

151224 / 02



52 Bushey Road
Ickenham
UB10 8JS

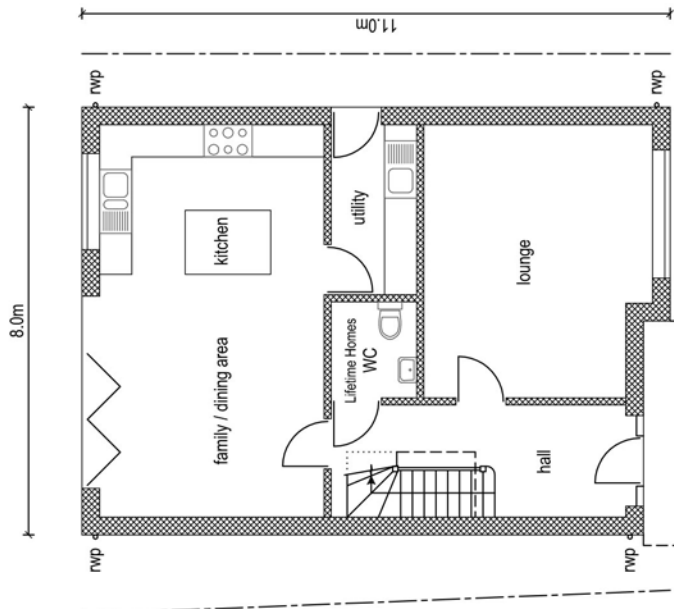
New Dwellings

Site Plan - Proposed

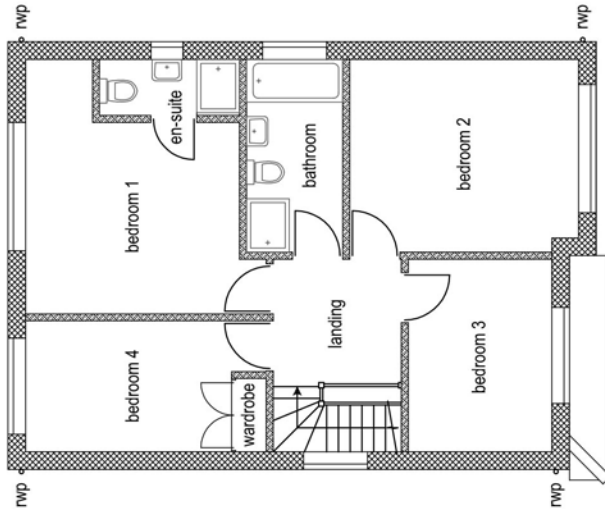
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151224 / 03 B

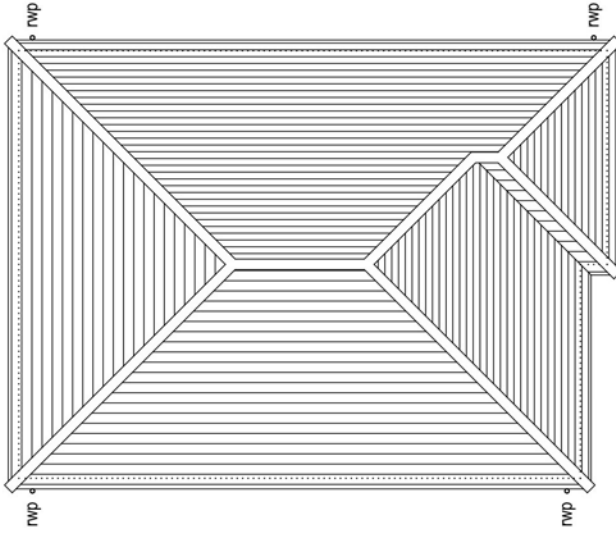
rev	date	details
A	21.03.2016	planning amends
B	21.04.2016	planning amends



ground floor plan



first floor plan



roof plan



all work to comply with current building regs and allied legislation
this drawing is not to be scaled

52 Bushey Road
Ickenham
UB10 8JS

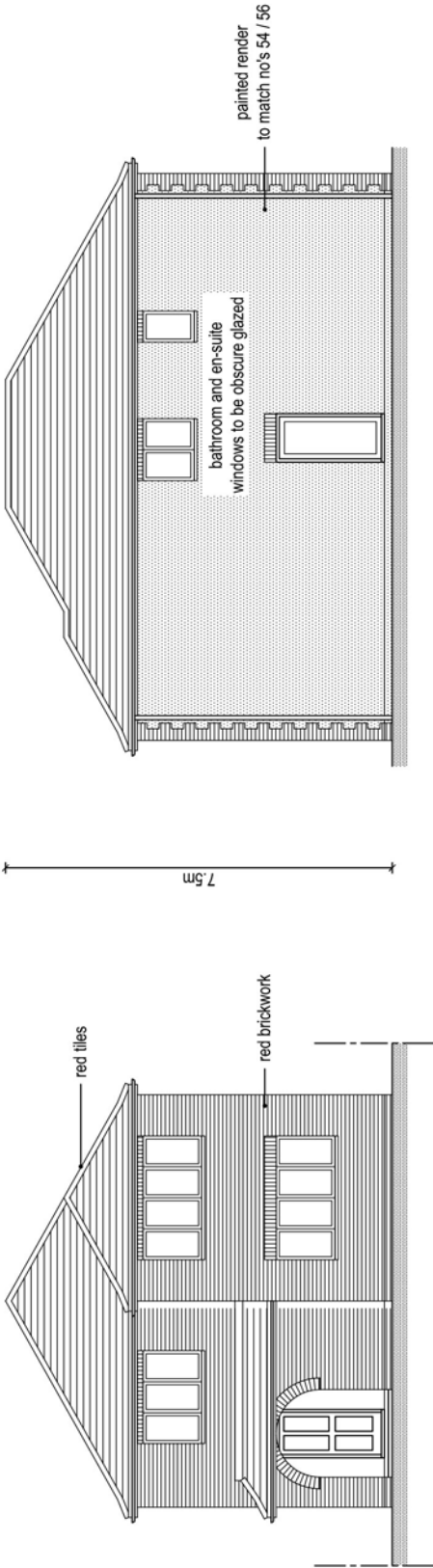
New Dwellings

Floor / Roof Plans (52)

1:100 on A3

151224 / 04 A

rev	date	details
A	21.04.2016	planning amends

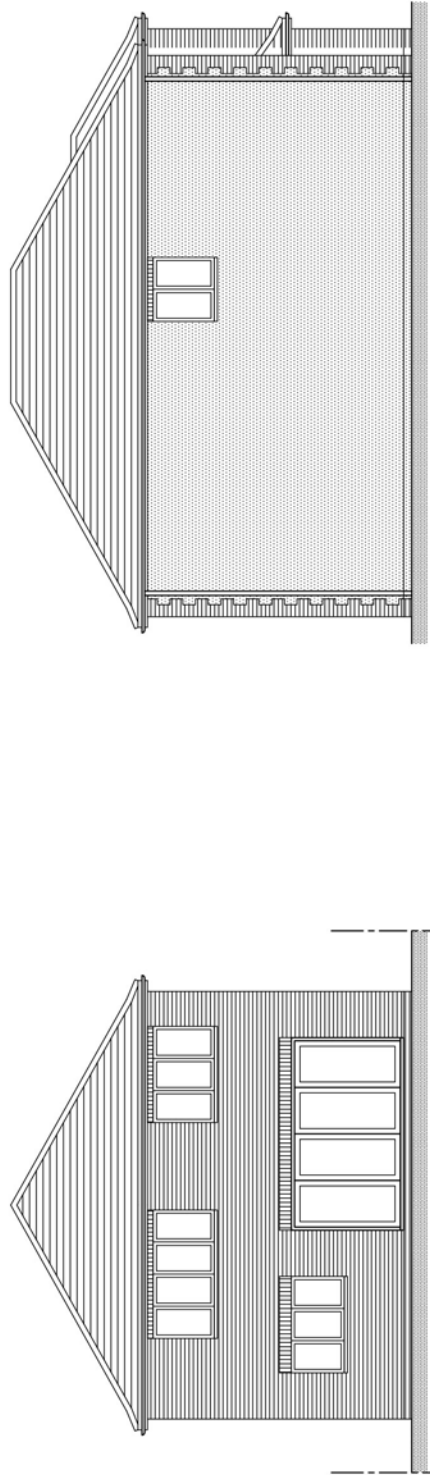


west elevation

south elevation

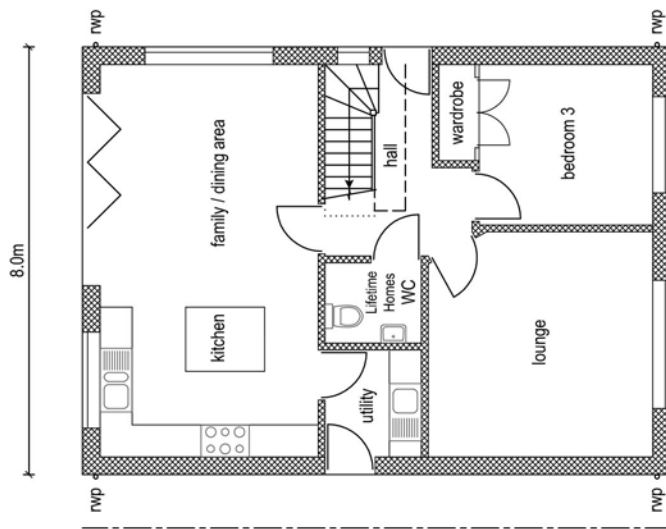


all work to comply with current building regs and allied legislation
 this drawing is not to be scaled

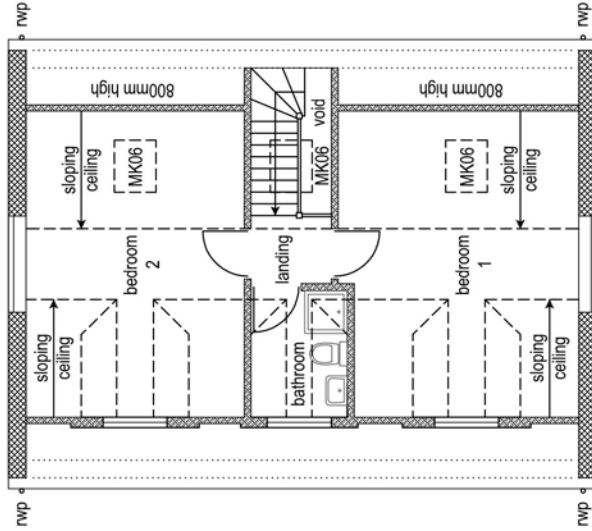


east elevation

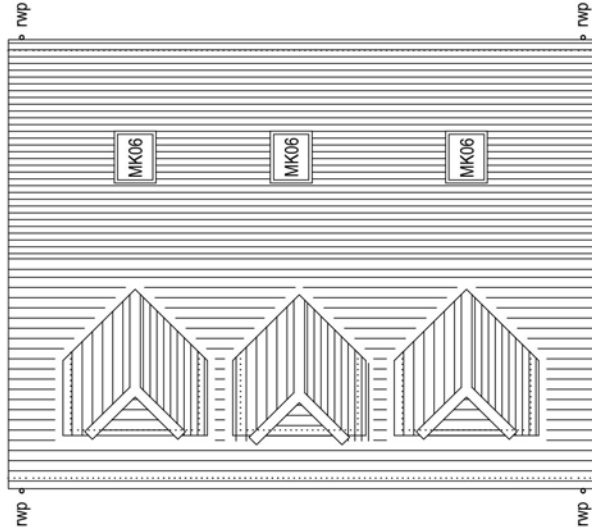
north elevation



ground floor plan



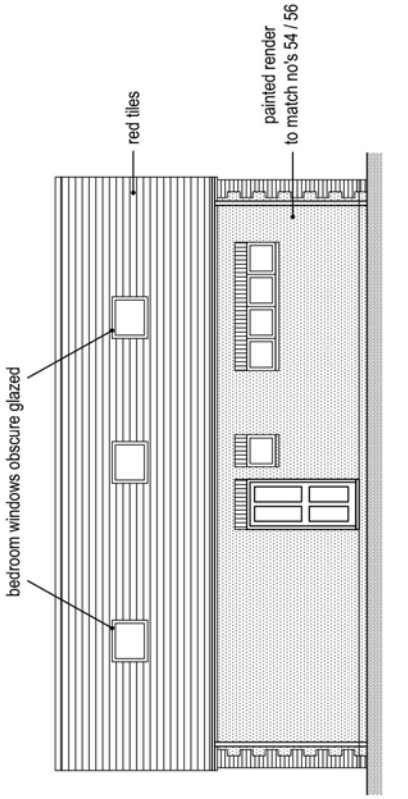
first floor plan



roof plan

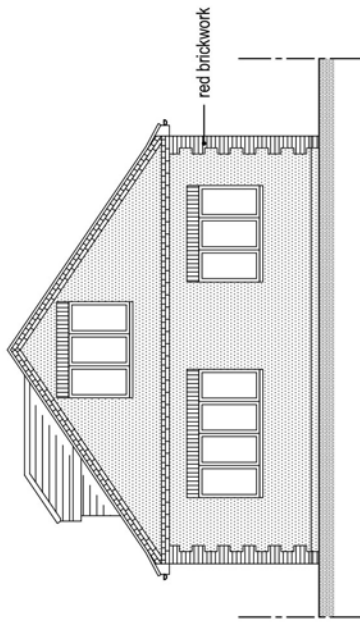


all work to comply with current building regs and allied legislation
this drawing is not to be scaled



south elevation

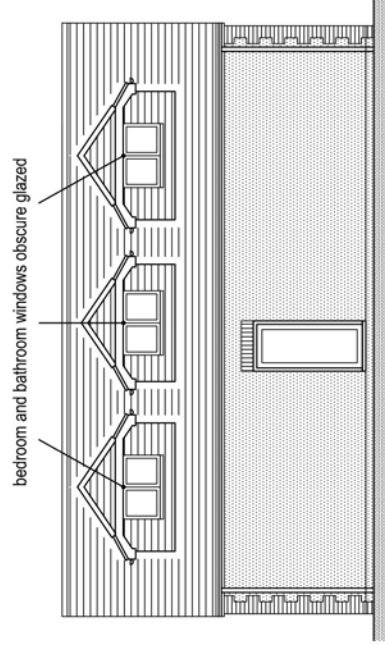
5.8m



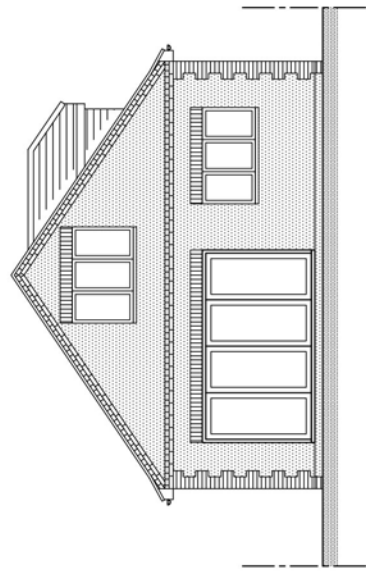
west elevation



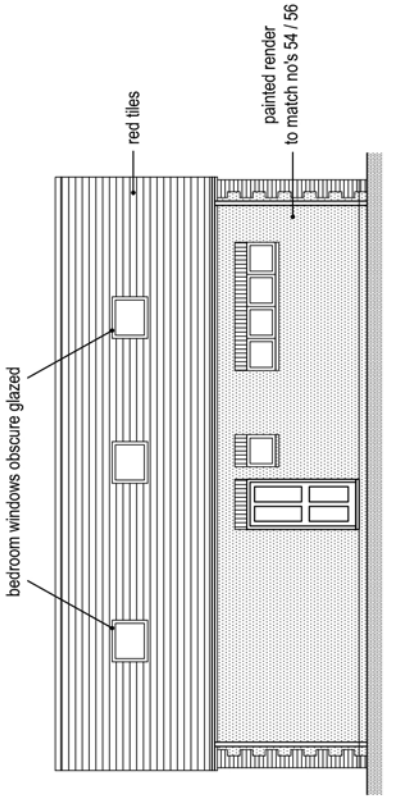
all work to comply with current building regs and allied legislation
 this drawing is not to be scaled



north elevation

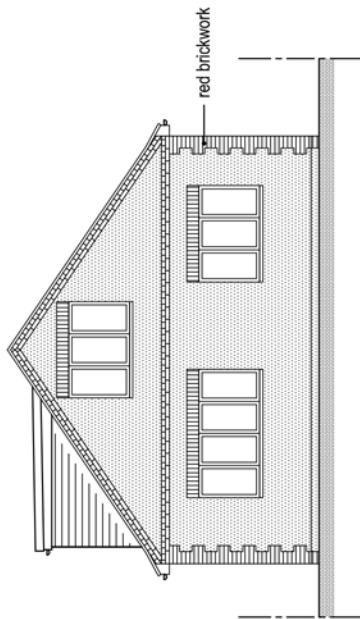


east elevation



south elevation

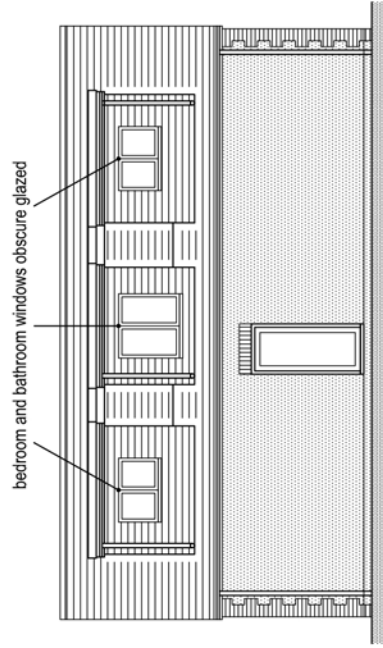
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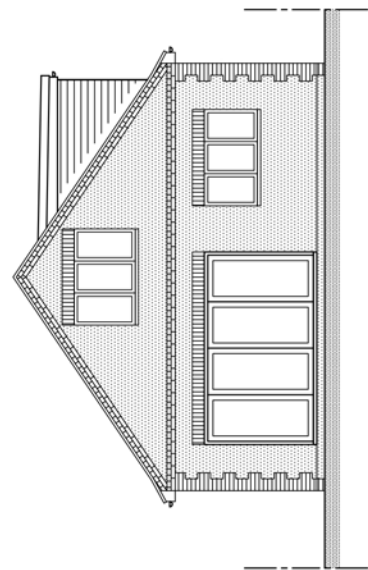
west elevation



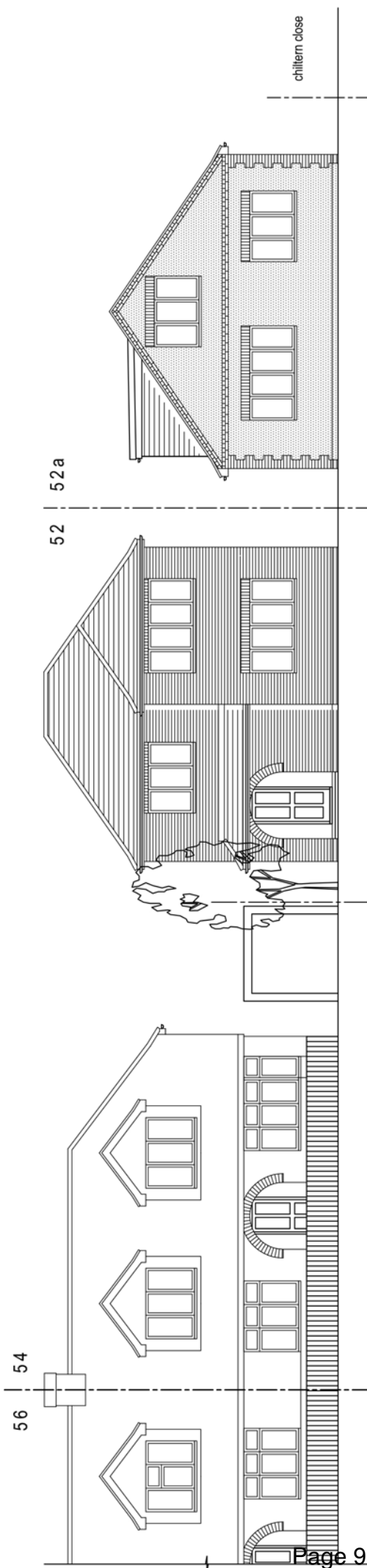
all work to comply with current building regs and allied legislation
 this drawing is not to be scaled



north elevation



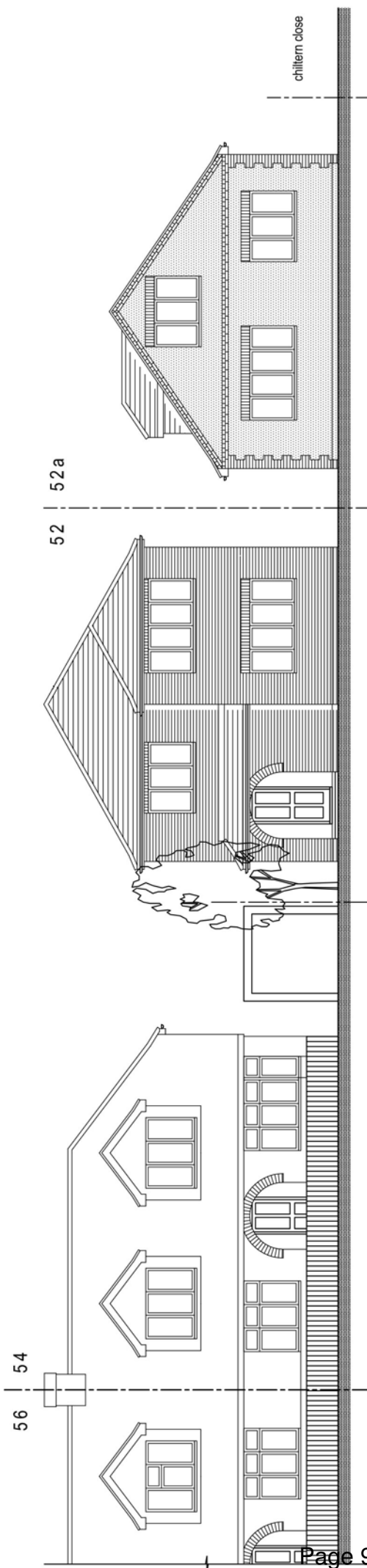
east elevation



street scene - bushey road



52 Bushey Road
 Ickenham
 UB10 8JS
 New Dwellings
 Street Scene
 1:100 on A3
151224 / 08

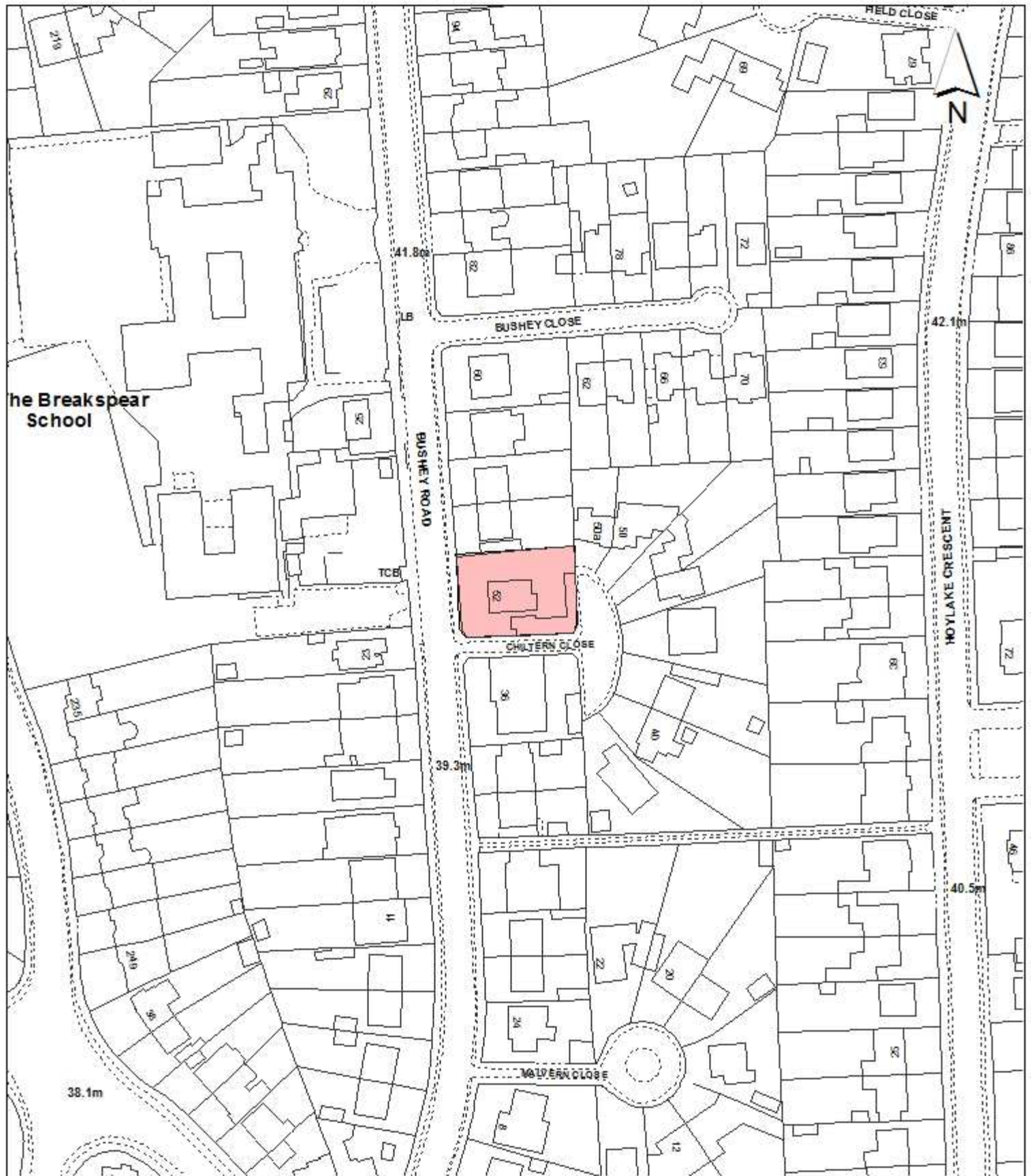


street scene - bushey road



52 Bushey Road
 Ickenham
 UB10 8JS
 New Dwellings
 Street Scene
 1:100 on A3
151224 / 08 A

rev date details
 A 21.04.2016 planning amends



Notes:

 Site boundary

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Site Address:

**52 Bushey Road
Ickenham**

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

71297/APP/2016/529

Scale:

1:1,250

Planning Committee:

North Page 99

Date:

July 2016



HILLINGDON
LONDON

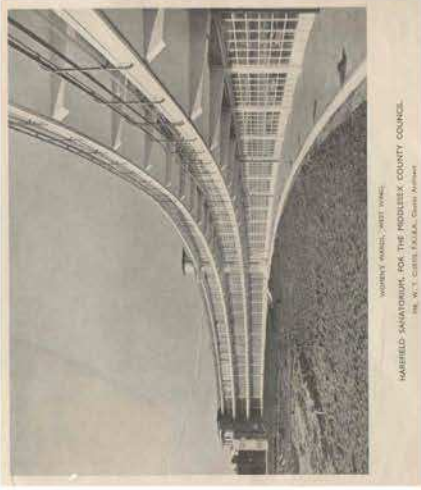
Report of the Head of Planning, Sport and Green Spaces

Address HAREFIELD HOSPITAL HILL END ROAD HAREFIELD MIDDLESEX

Development: Infill extension on the second floor balcony in order to create a 16 bed ward and 4 bed High Dependency Unit including installation of roof mounted plant (works involve demolition of part of the existing concrete canopy)

LBH Ref Nos: 9011/APP/2016/1862

Date Plans Received:	16/05/2016	Date(s) of Amendment(s):	16/05/2016
Date Application Valid:	16/05/2016		20/05/2016
			22/06/2016

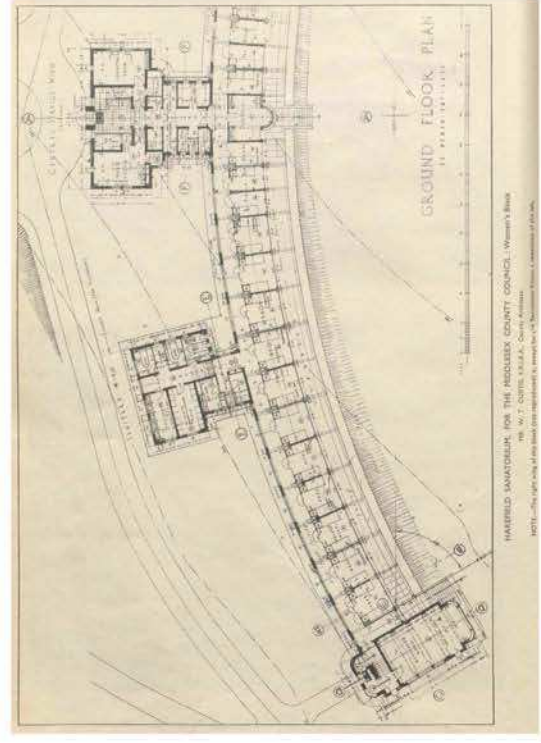


WARD'S WARD, WEST WING
 HANFIELD HANDBOOK FOR THE PRODEREK COUNTY COUNCIL
 THE W.C. COOTE, L.S.A.A., COURT ARCHITECTS

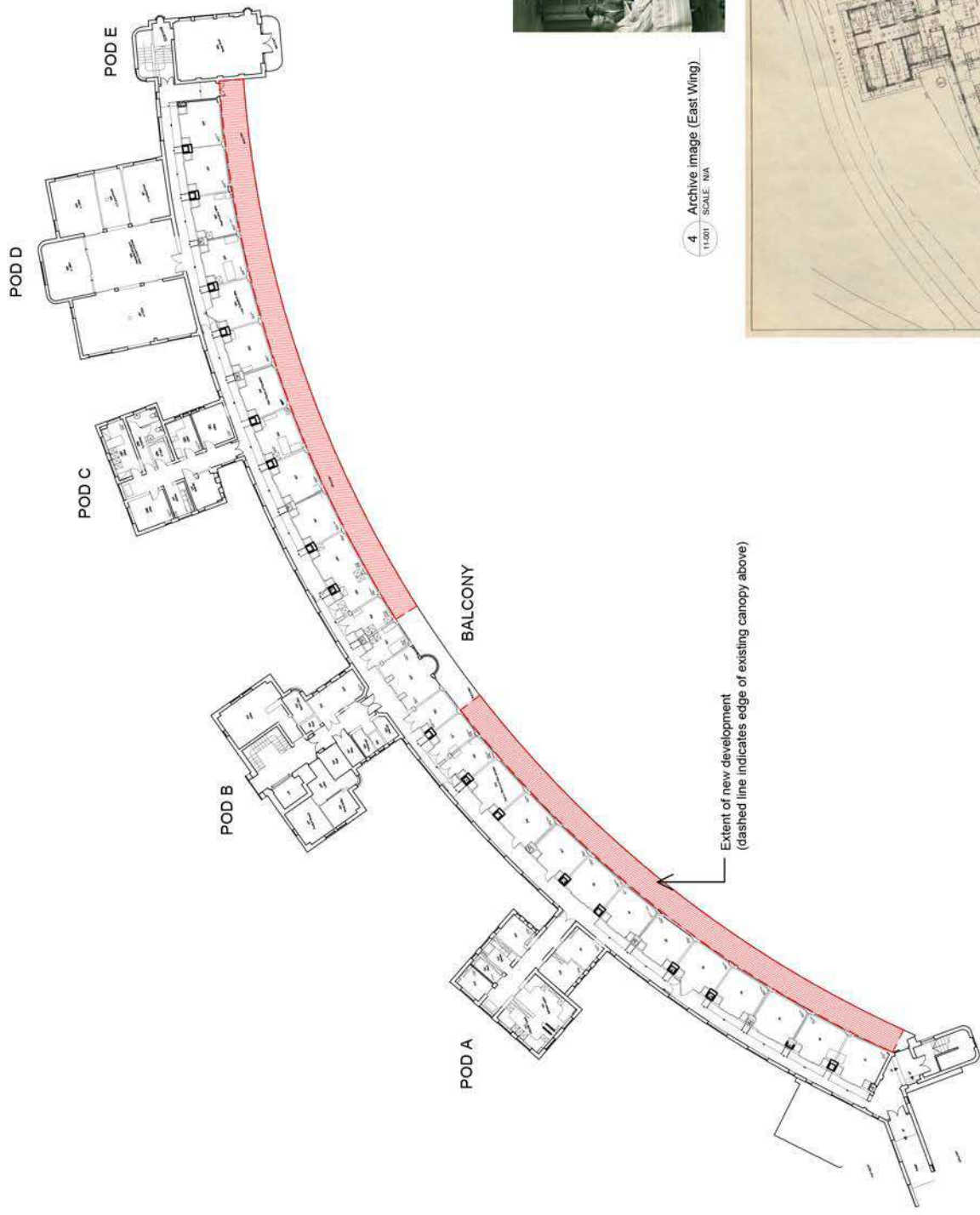
3 Archive image (West Wing)
 1:1000 SCALE: N/A



4 Archive image (East Wing)
 1:1000 SCALE: N/A

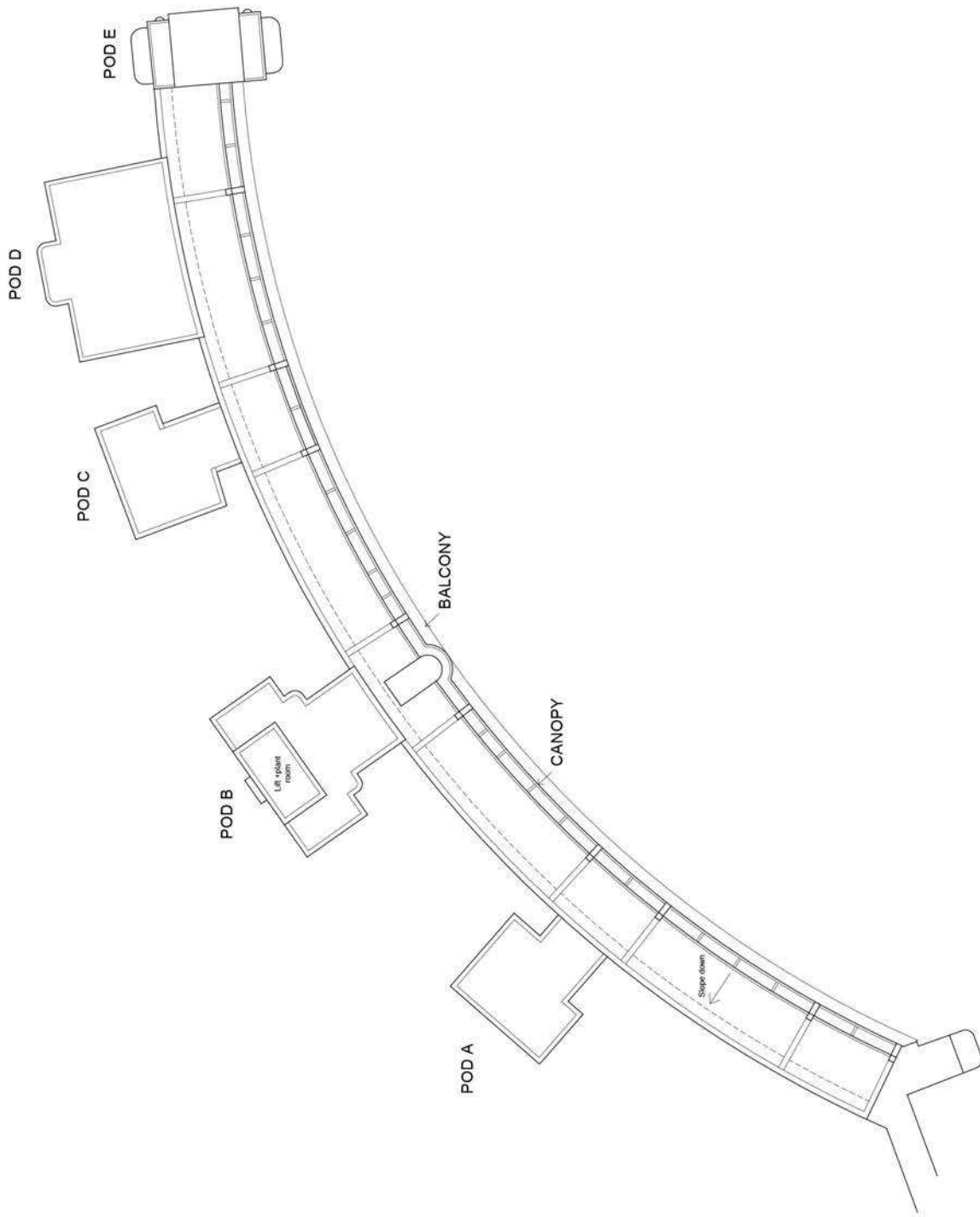


2 Ground Floor Plan archive image (West Wing)
 1:1000 SCALE: N/A



1 Second Floor Plan as Existing
 1:1000 SCALE: 1:200 @ A1

		11/0001 11-001 52770 11-001 PLANNING
Royal Brompton & Harefield NHS Foundation Trust Harefield Hospital New 20 Bed Ward Second Floor Plan as Existing		Date: 12/00 Drawn by: David Checked by: David Date: 12/00 Scale: 1:200 @ A1 Project Number: 52770 Drawing Number: 11-001 Sheet: PLANNING



1 Roof Plan as Existing
1:500 SCALE: 1:200 @ A1

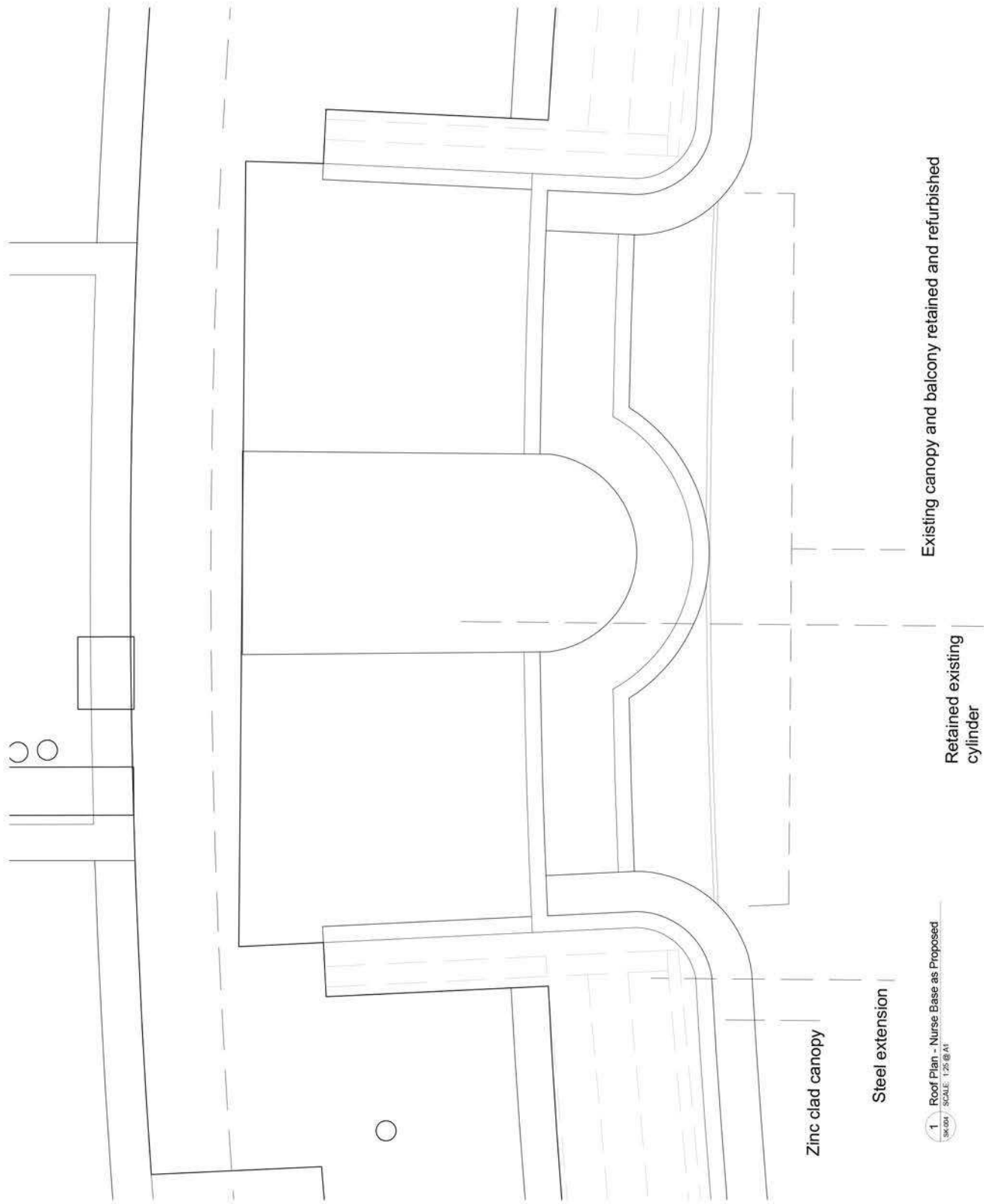


REV	DATE	DESCRIPTION	BY	CHK
A	18/03/2016	Issued for construction		

FLOYD SLASKI ARCHITECTS
 100, Abchurch Lane, London, EC4N 3DF
 Tel: 020 7424 2000
 Fax: 020 7424 2001
 www.floydslaski.co.uk

FLOYD SLASKI ARCHITECTS
 100, Abchurch Lane, London, EC4N 3DF
 Tel: 020 7424 2000
 Fax: 020 7424 2001
 www.floydslaski.co.uk

Client	Royal Brompton & Harefield NHS Foundation Trust
Project	Harefield Hospital Phase 2 New 20 Bed Ward
Contract	Roof Plan as Existing
Scale	1:200
Drawn By	CA/ML
Checked By	DM
Date	11/02/16
Job Number	5270
Drawn Number	11-002
Sheet	PLANNING
Version	A



Existing canopy and balcony retained and refurbished

Retained existing cylinder

Zinc clad canopy

Steel extension

1 Roof Plan - Nurse Base as Proposed
 SK-004 SCALE: 1:25 @ A1



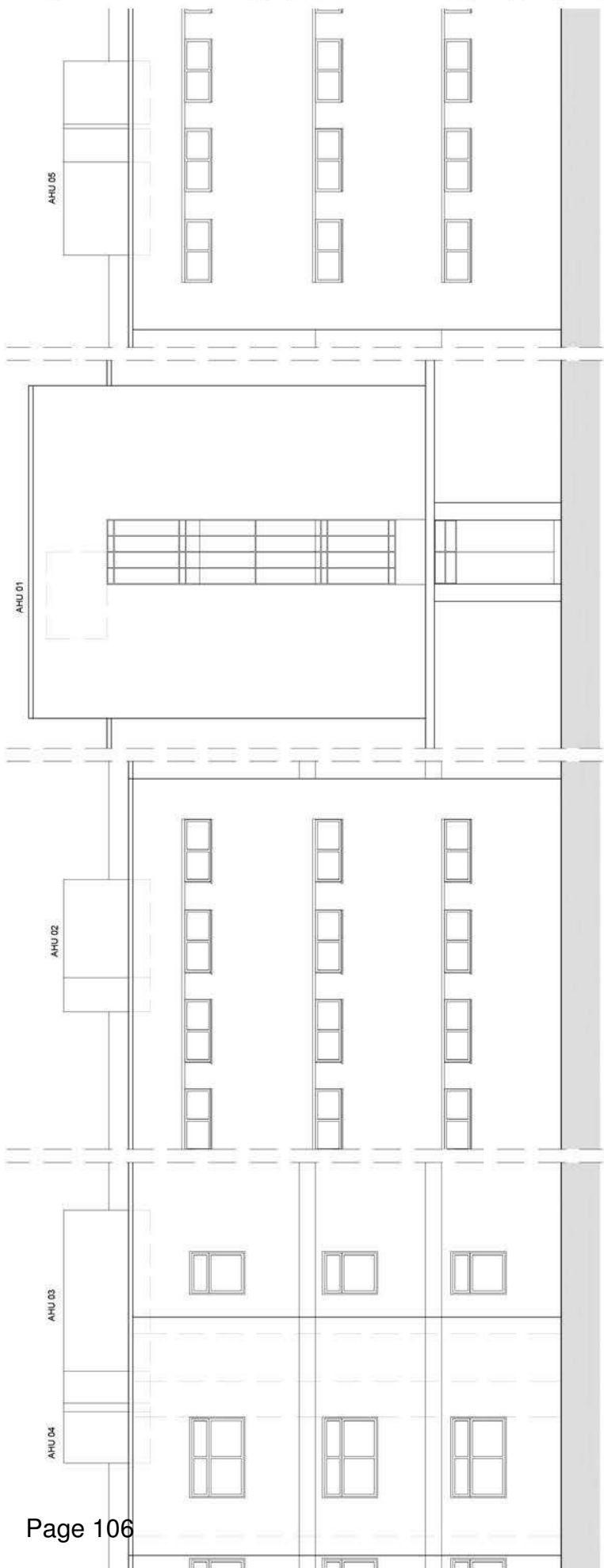
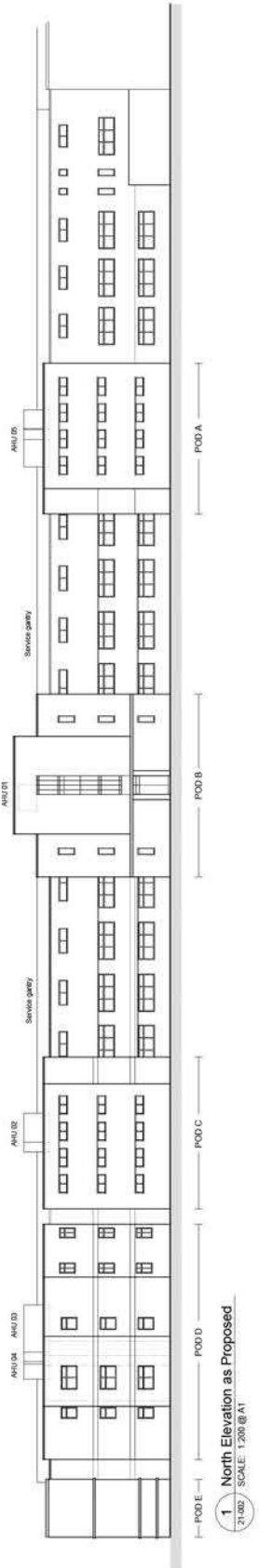
© Floyd Slaski
 2 Sharn Road
 Boreham
 TW9 1AE
 +44 (0) 20 8973 3805
www.floydslaski.co.uk

Royal Brompton & Harefield
 NHS Foundation Trust

Harefield Hospital
 G Floor
 New 20 Bed Ward
 Proposed
 Nurse Base

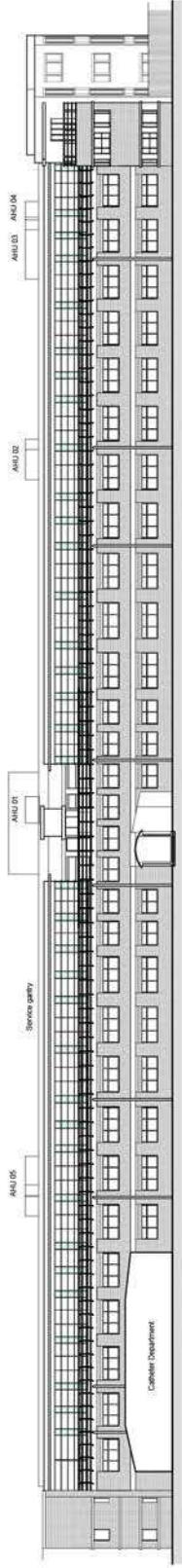
Scale	1:25	Rev	A1	Date first issue	
Drawn by	Geeta Inok	Checked by	David Whitehouse	Date first issue	22/05/2016
Site Number	5270	Drawing Number	SK-004	Project	
PLANNING					

Not for Scale. All dimensions to be adopted on site. Errors and omissions to be reported to the architect.

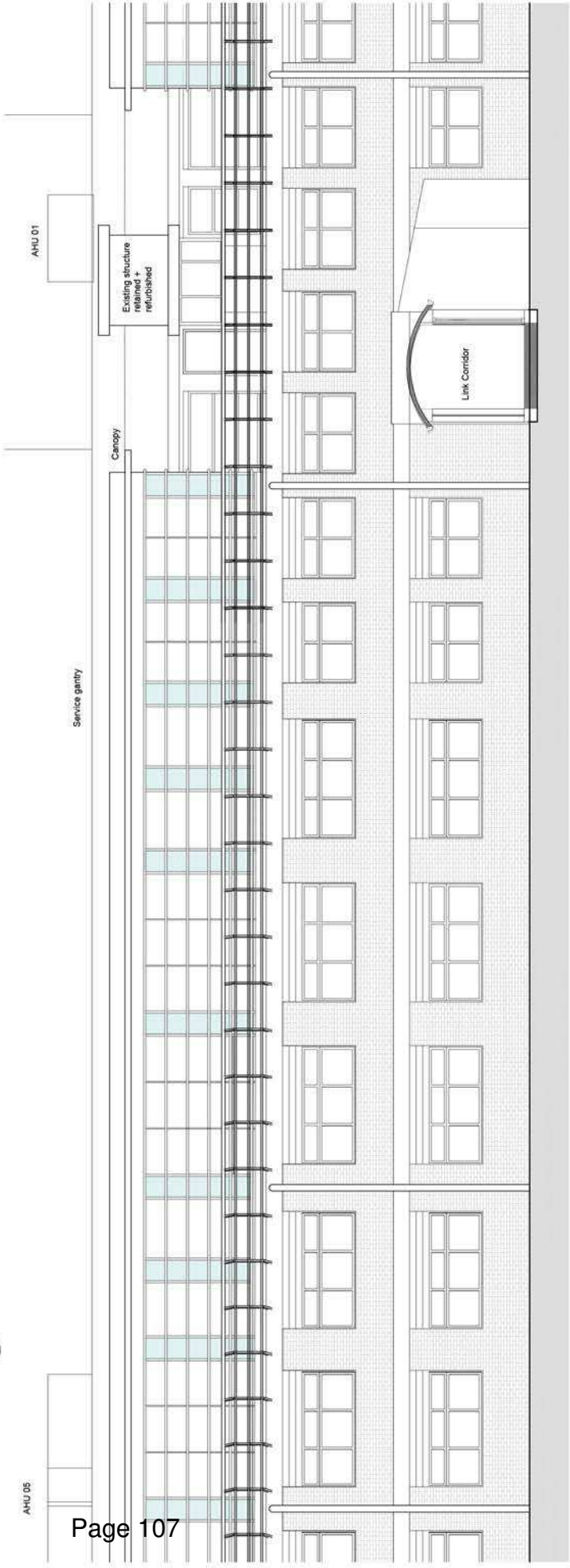


- 1 North Elevation as Proposed - POD A
SCALE: 1:200 @ A1
- 2 North Elevation as Proposed - POD D
SCALE: 1:50 @ A1
- 3 North Elevation as Proposed - POD C
SCALE: 1:50 @ A1
- 4 North Elevation as Proposed - POD B
SCALE: 1:50 @ A1
- 5 North Elevation as Proposed - POD A
SCALE: 1:50 @ A1

6 FLOYD SLASKI 2, Sheep Road London 444 103 00 8872 2000 www.floydslaski.co.uk	
7 18/03/2015 (Drawing Date)	
DRAWN BY: [Name] CHECKED BY: [Name] APPROVED BY: [Name]	
Client: Royal Brompton & Harefield NHS Foundation Trust	
Project: Harefield Hospital 7 Floor New 20 Bed Ward	
Description: North Elevation as Proposed	
Date: 12/01/15 @ A1 Drawn By: [Name] Checked By: [Name]	Date: [Date] Drawn By: [Name] Checked By: [Name]
Job Number: 5270	Drawing Number: 21-002
Sheet: PLANING	

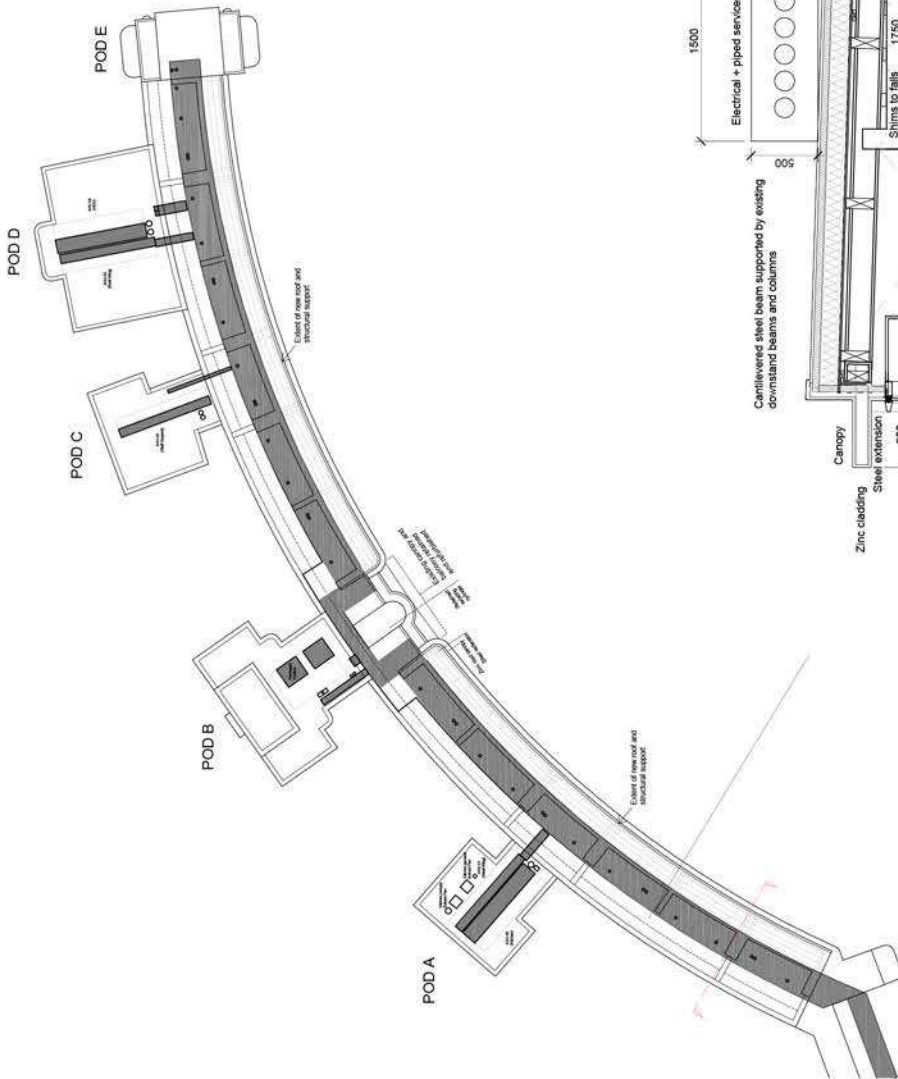


1 South Elevation as Proposed
21.001 SCALE: 1:200 @ A1

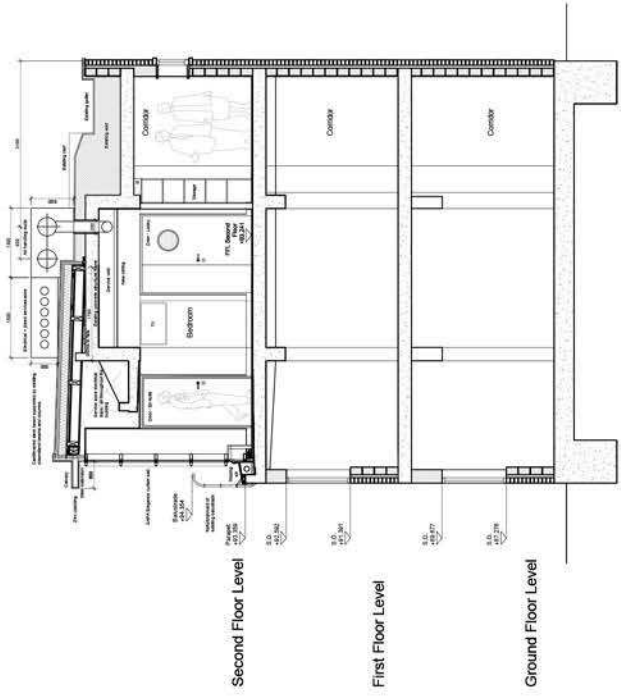


2 South Elevation as Proposed
21.001 SCALE: 1:50 @ A1

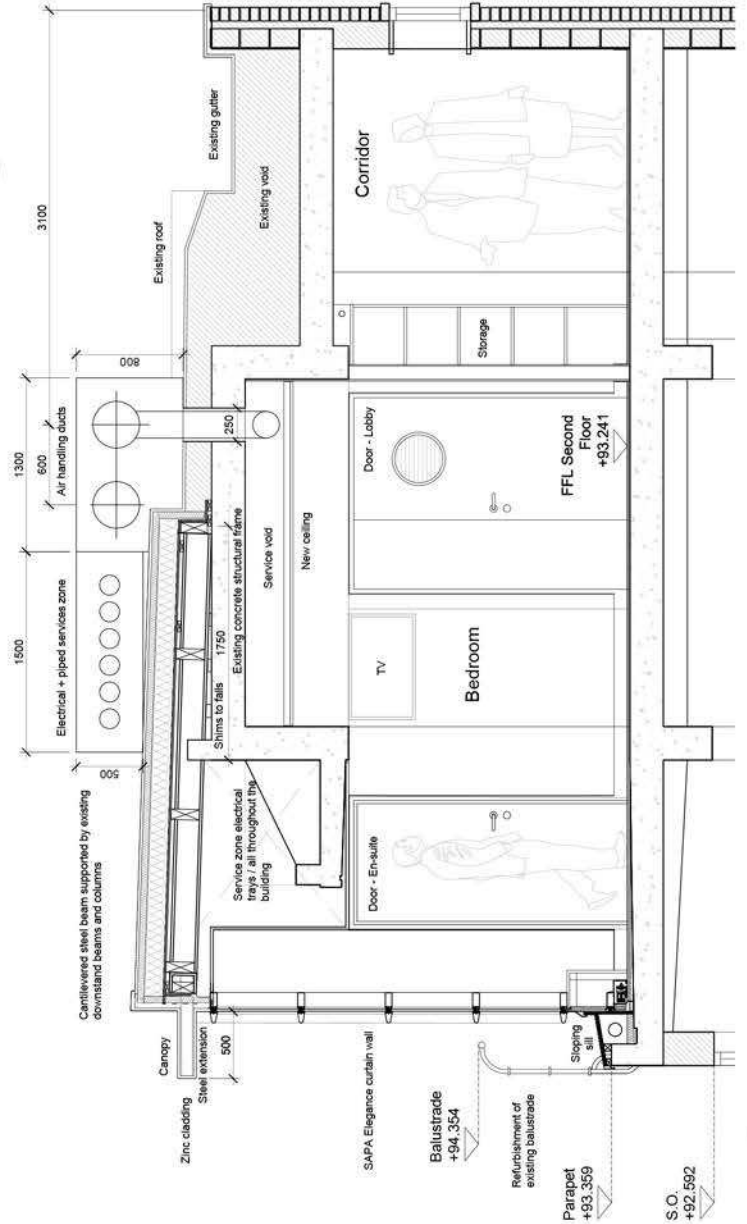
<p>FLOYD SLASKI ARCHITECTS</p> <p>15 LINDSAY LANE 2, SHARPE ROAD LONDON E4 3DF 020 7464 1100 www.floydslaski.co.uk</p>		<p>DATE: 15/05/2015 (Drawing Issue)</p> <p>BY: [Signature]</p> <p>PROJECT NO: 15050101 (15050101) (15050101)</p> <p>PROJECT NAME: NEW 20 BED WARD</p>
<p>Client: Royal Brompton & Harefield NHS Foundation Trust</p>		<p>Scale: 1:200 / 1:50 @ A1</p> <p>Drawn By: [Signature]</p> <p>Checked By: [Signature]</p> <p>Date: 15/05/2015</p>
<p>Project: Harefield Hospital New 20 Bed Ward</p>		<p>Job Number: 52770</p> <p>Drawing Number: 21-001</p> <p>Sheet: PLANNING</p>
<p>Notes: South Elevation as Proposed</p>		



P Roof Plan at Proposed
1:500 SCALE 1:250 @ A1



1 Section as Proposed
3:1000 SCALE 1:50 @ A1



1 Section as Proposed
3:1000 SCALE 1:20 @ A1



Notes: Slabs and beams are horizontal and to be confirmed on site.

C	200x200mm Plywood base	D/W
B	210x210mm Plywood base	D/W
A	150x200mm Plywood base	D/W

100% of the above details to be adopted on site. All dimensions are to be confirmed by the architect.

FLOYD SLACKS ARCHITECTS
www.floydslacks.co.uk

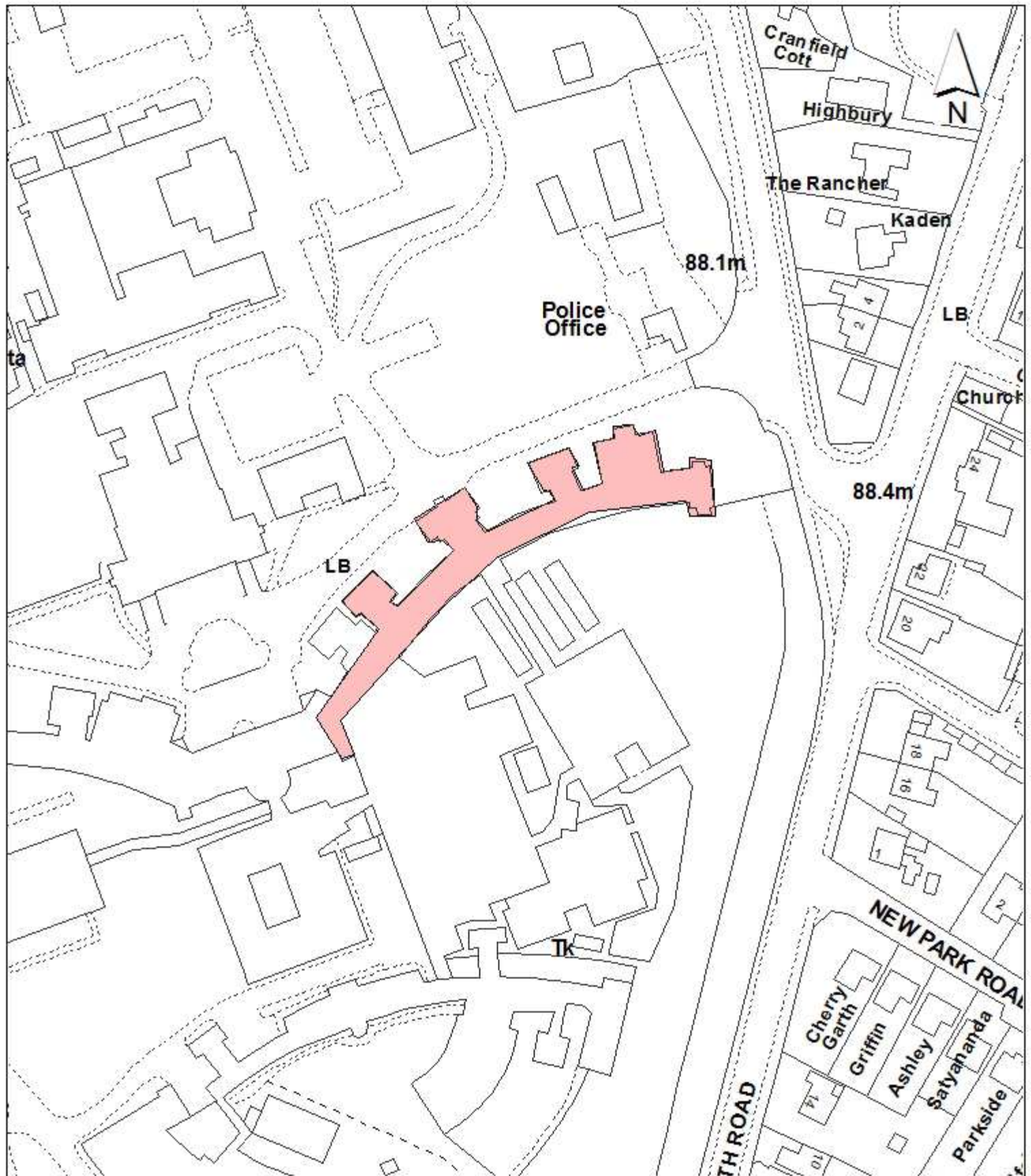
0. Ryan Slack
2. Zheni Slack
3. David Slack
4. David Slack
5. David Slack
6. David Slack
7. David Slack
8. David Slack
9. David Slack
10. David Slack

Royal Drompton & Harefield NHS Foundation Trust
Harefield Hospital
G Floor
New 20 Bed Ward

Section as Proposed

Scale: 1:20 @ A1
Drawn by: David Slack
Checked by: David Slack
Date: 15/02/2016

Sheet Number: 5270
Drawing Number: 31-001
Project: PLANNING



Notes:

 Site boundary

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Site Address:

Harefield Hospital

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

9011/APP/2016/1862

Scale:

1:1,250

Planning Committee:

North Page 110

Date:

July 2016



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address DOUAY MARTYRS SCHOOL, CARDINAL HUME CAMPUS 86 LONG LANE
ICKENHAM

Development: Replacement of existing school boundary fence with new 1.8m high metal
fencing and gates and creation of new tarmacadam pathway to the main
reception.

LBH Ref Nos: 6683/APP/2016/1226

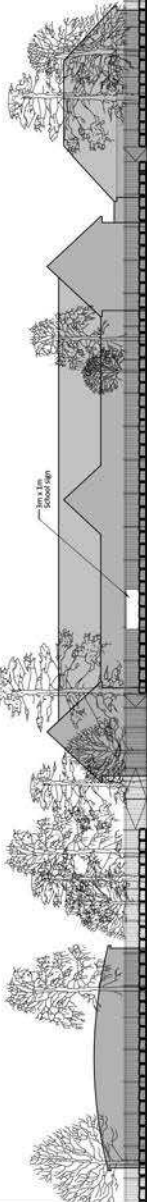
Date Plans Received: 24/03/2016

Date(s) of Amendment(s): 22/06/2016

Date Application Valid: 24/03/2016



Existing South West Elevation Boundary Treatment



Proposed South West Elevation Boundary Treatment

Scale - 1:200



Location Plan
Scale - 1:2500

Original
Page Size
A1

NOTES

Do not scale dimensions from this drawing except for local authority planning purposes.
The contractor is responsible for checking dimensions, writing with the Project Manager before proceeding with the work.

All current drawings and specifications for this project must be read in conjunction with the design team's and environment statement report.

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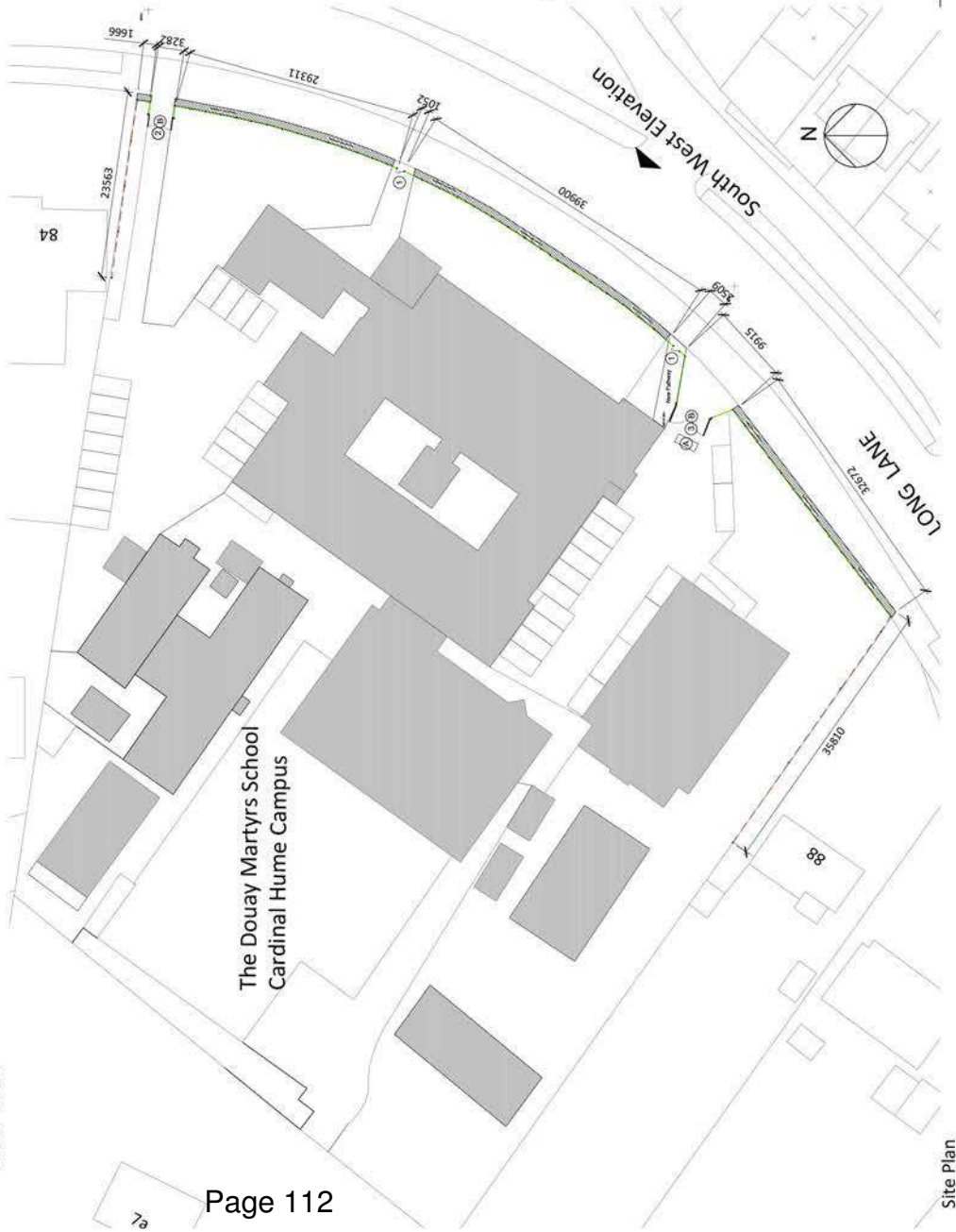
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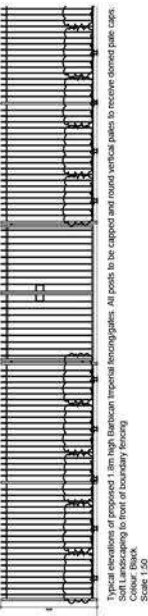
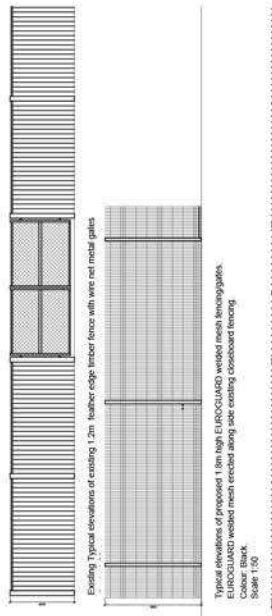
All current drawings and specifications for this project must be read in conjunction with the design team's and environment statement report.

All current drawings and specifications for this project must be read in conjunction with the design team's and environment statement report.



Page 112

Site Plan
Scale - 1:500



Soft Landscaping:
The soft landscaping to the boundary to consist of Portuguese Laurel (Prunus lusitanica). Hedging shall be maintained in a neat form to a height of no more than 1m, with a bi-annual trim to maintain this form and no plant substitutions to be made without the prior written agreement of the Local Authority Landscape Section.

key:

- Proposed elevations of proposed 1.8m high EUROGUARD welded mesh fencing gates
- Proposed elevations of proposed 1.8m high EUROGUARD welded mesh fencing

- 1 - Access controlled pedestrian gate, key pad, voice & video to reception. Also timeclock access controlled.
- 2 - Access controlled vehicular access, key pad, proximity and voice to reception.
- 3 - Access controlled (visitors) vehicular access, voice & video, key pad & fob controls to reception.
- 4 - Manually operated padlock double leaf gate.

- Note:
- A) Vehicular access to have induction loop exit and beam closure
 - B) Fire alarm interface gates.



Rev	Date	Description	CHK
2	22.06.2012	Notes added to specs & landscaping	SW
1	22.06.2012	Final design for landscaping	SW
0	21.03.2012	Issued for framing	SW

dhp
243 Brooklands Road
Wokingham
RG40 3JH
T: 01329 850100
W: www.dhpd.co.uk

Project
The Douay Martyrs School
Long Lane
Ickenham
Middlesex UB10 8SX

Drawing
Cardinal Hume Campus
Boundary Improvement Project

Drawn By	Rev	Date	Scale
Project Manager	500	16.03.2016	1:50, 1:200, 1:500, 1:2500
Project No.	Drawing No.	Stage/Rev	
5508	2002	P/11	

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